



GRANBERRY & ASSOCIATES
CIVIL ENGINEERING FIRM

1686 Padington Park Lane, Germantown, TN 38138
(662) 312-9672

June 13, 2026

Joel Hollowell
Lafayette County Planning/Building Department
300 North Lamar
Oxford, MS 38655

RE: SITE PLAN REQUEST
Flex Space Development – Lot #1 of Yocona Rise Subdivision
Parcel ID#: 189-29-002.04 (part of)
Lafayette County, MS

Dear Joel:

On behalf of Highway 328, LLC (and Joel Reeves), we are submitting the enclosed Site Plan Application and supporting documentation for the proposed Flex Space Development to be located on Lot #1 of the Yocona Rise Subdivision.

The subject property consists of approximately 11.35 acres located on the south side of MS Highway 328, west of MS Highway 7, and east of County Road 321 in Lafayette County, Mississippi. The proposed development consists of four (4) multi-tenant office/warehouse flex space buildings containing a total of twenty-one (21) tenant units and approximately 31,650 square feet of building area. Building #1 contains approximately 7,500 square feet and five (5) tenant units, Building #2 contains approximately 6,150 square feet and four (4) tenant units, Building #3 contains approximately 9,000 square feet and six (6) tenant units, and Building #4 contains approximately 9,000 square feet and six (6) tenant units.

A Conditional Use Permit application for the proposed office/warehouse flex-space development is being considered concurrently by Lafayette County and is scheduled to be heard prior to consideration of this Site Plan application. The applicant understands that any Site Plan approval granted by Lafayette County shall be contingent upon approval of the associated Conditional Use Permit and is subject to all conditions of approval.

The subject property is Lot #1 of the proposed Yocona Rise Subdivision. Access, drainage, utilities, and other site infrastructure have been coordinated with the subdivision improvements. Additionally, the majority of the grading and earthwork associated with preparation of the site is being approved as part of the subdivision development.

The proposed development includes the following improvements:

- Four (4) multi-tenant office/warehouse flex-space buildings totaling approximately 31,650 square feet.
- Twenty-one (21) individual flex-space units intended to accommodate office, warehouse, contractor, and similar commercial uses as contemplated by the accompanying Conditional Use Permit application.

- Internal access drives, parking facilities, ADA-accessible parking spaces, loading areas, and associated site circulation improvements.
- Shared access to MS Highway 328 through the frontage road/access drive constructed as part of the Yocona Rise Subdivision development.
- Water service provided by the City of Oxford. A Letter of Intent to Serve has been issued by the City of Oxford and is included with this application.
- Individual onsite wastewater treatment facilities designed in accordance with the requirements of the Mississippi Department of Health and the Mississippi Department of Environmental Quality. These facilities are being submitted and will be permitted by the MSDH. A copy of the approval/permit will be sent to the County once received and prior to construction.
- Stormwater management facilities, including drainage conveyance and detention infrastructure coordinated with the approved Yocona Rise Subdivision drainage system.
- Landscaping, buffering, screening, and other site improvements as shown on the enclosed plans.

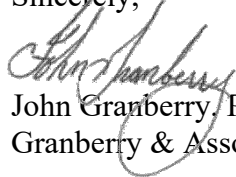
Vehicular access to the development will be provided through the previously approved frontage road connection to MS Highway 328. All necessary permits and approvals required by the Mississippi Department of Transportation and other applicable agencies will be obtained prior to construction.

The property is located within a FEMA Special Flood Hazard Area (Zone A). A Floodplain Development Permit application has previously been submitted to Lafayette County for the proposed floodplain improvements associated with this development (Lot 1) and to establish a Base Flood Elevation (BFE) and the final grade of the finished floor elevation of all buildings/structures is 1.5' above the calculated BFE.

The proposed development has been designed in accordance with applicable Lafayette County development regulations and standards. The enclosed plans demonstrate compliance with applicable requirements related to access, parking, utilities, drainage, site circulation, and other development criteria.

We respectfully request review and approval of the enclosed Site Plan. Should you require any additional information or have any questions regarding the proposed development, please do not hesitate to contact me.

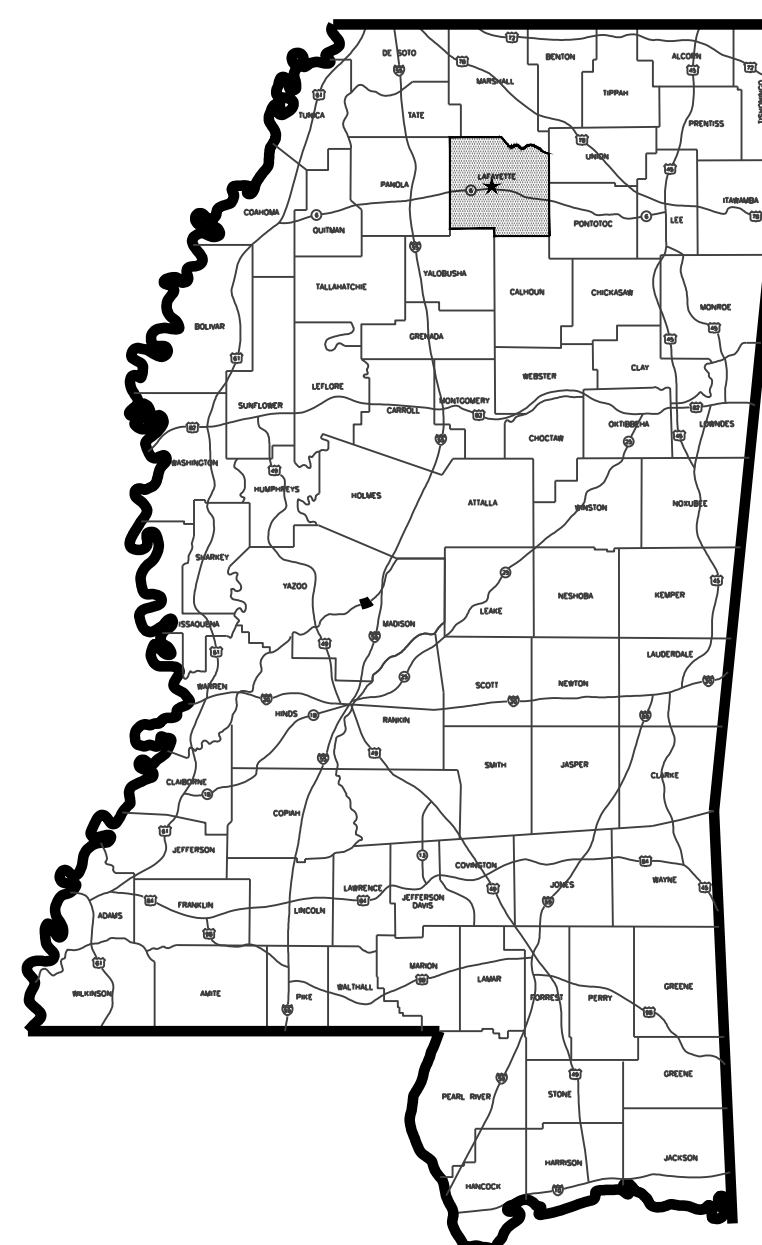
Sincerely,



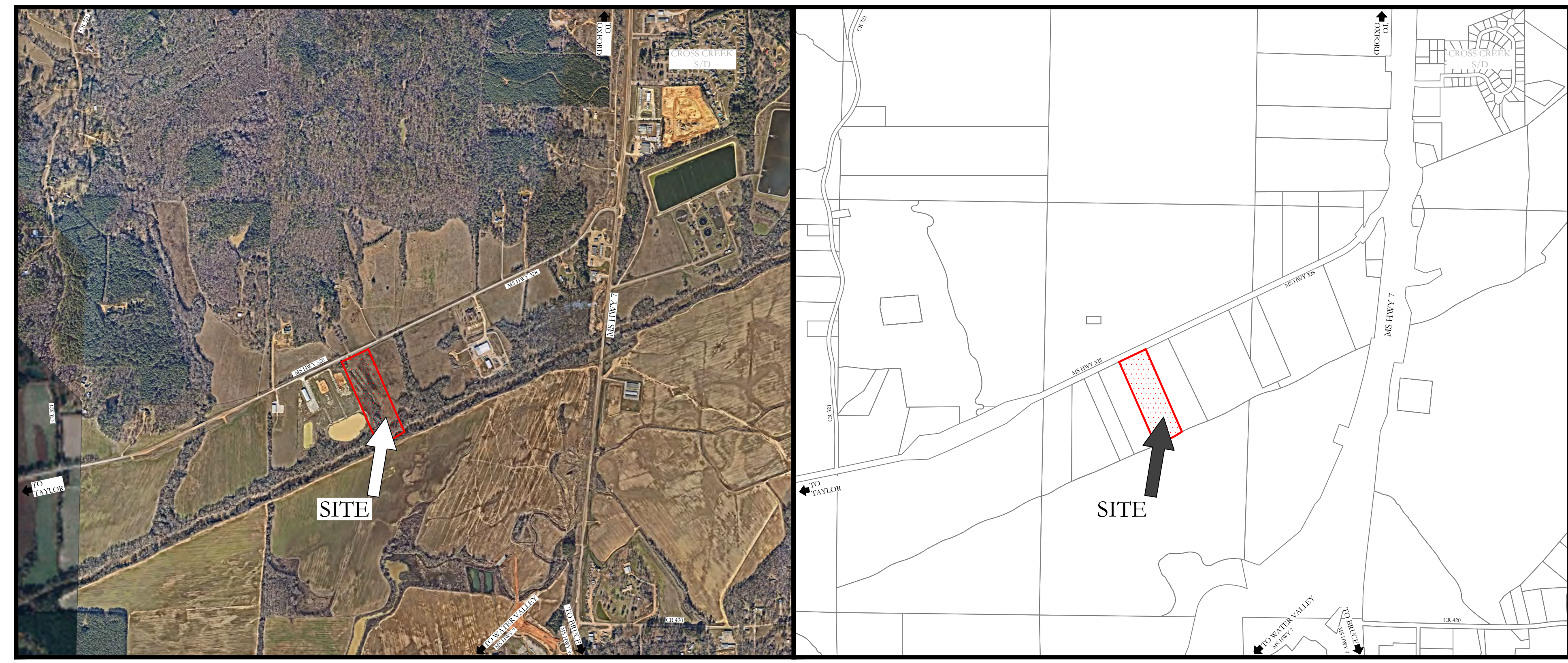
John Granberry, P.E.
Granberry & Associates, LLC

SITE PLAN & CONSTRUCTION PLANS
FOR
FLEX SPACE COMMERCIAL COMPLEX:
YOCONA RISE SUBDIVISION - LOT #1

L A F A Y E T T E C O U N T Y , M I S S I S S I P P I



LOCATION MAP
N.T.S



AERIAL MAP
SCALE: 1"=1,000'

VICINITY MAP
SCALE: 1"=1,000'

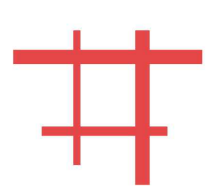
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DEVELOPER:

HIGHWAY 328, LLC
31 HWY 328
OXFORD, MS 38655

CIVIL ENGINEER:

 **GRANBERRY & ASSOCIATES**
CIVIL ENGINEERING FIRM

GRANBERRY & ASSOCIATES
1686 PADINGTON PARK LANE
GERMANTOWN, TN 38138
PH: 662.312.9672
jgranberry@mccartygranberry.com

SURVEYOR:


WILLIAMS ENGINEERING CONSULTANTS, LLC
720 NORTH LAMAR BLVD., STE. A
OXFORD, MS 38655
PH: 662.236.9675
rdaniels@williamsec.com



IF, DURING CONSTRUCTION, THE ENGINEER FINDS IT NECESSARY TO CHANGE THE LINES, DIMENSIONS, THICKNESS, GRADES, SLOPES, SECTIONS OR QUANTITIES OR IF SUCH CHANGES ARE ORDERED FOR ANY OTHER REASON, THE FINAL QUANTITIES WILL BE RECOMPUTED BASED ON THE PLAN CHANGES, AS A RESULT OF AUTHORIZED CHANGES. ANY AND ALL MAJOR CHANGES MUST ALSO BE APPROVED BY THE LOCAL GOVERNING AGENCY.

GENERAL NOTES:

1. THE CONTRACTOR SHALL NOTIFY THE CITY OF OXFORD ENGINEERING DEPARTMENT AT (662) 232-2306 AND SHALL NOTIFY THE LAFAYETTE COUNTY PLANNING DEPARTMENT AT (662) 236-0237 BEFORE COMMENCING CONSTRUCTION.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING ANY UTILITY COMPANY WHICH MAINTAINS A UTILITY LINE WITHIN THE BOUNDARIES OF THE PROJECT BEFORE THE INITIATION OF ANY CONSTRUCTION ON THE PROJECT OR IN THE STREETS BORDERING THE PROJECT. THE CONTRACTOR SHALL ALSO ASSUME RESPONSIBILITY FOR ANY DAMAGE INCURRED BY ANY UTILITY COMPANY TO THEIR UTILITY LINES WHETHER SHOWN ON THE CONSTRUCTION PLANS OR NOT, DURING WORK ON THE PROJECT.
3. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT EXISTING STRUCTURES SUCH AS PIPES, INLETS, CURBS, APRONS, ETC., FROM DAMAGE WHICH MIGHT OCCUR DURING CONSTRUCTION. EXTREME CARE SHALL BE EXERCISED WHEN EXECUTING CONSTRUCT/ON ACTIVITIES AROUND SUCH STRUCTURES. THE CONTRACTOR SHALL REPLACE OR REPAIR, AS DIRECTED BY THE ENGINEER, ANY STRUCTURES DAMAGED DURING THE LIFE OF THE CONTRACT. NO PAYMENT SHALL BE MADE FOR REPLACEMENT OR REPAIR OF DAMAGED ITEMS.
4. EXISTING UNDERGROUND UTILITY LINES ARE SHOWN ON THE DRAWINGS BASED UPON THE BEST INFORMATION AVAILABLE TO THE ENGINEER. THE ENGINEER CANNOT AND DOES NOT WARRANT THAT THIS INFORMATION IS COMPLETE OR ACCURATE. THE CONTRACTOR SHALL COORDINATE DIRECTLY WITH MISSISSIPPI 811 AND WITH THE INVOLVED UTILITY OWNERS TO GET UNDERGROUND UTILITY LINES FIELD LOCATED IN ADVANCE OF CONSTRUCT/ON ACTIVITIES.
5. ALL NEWLY CUT AND/OR FILLED AREAS LACKING ADEQUATE VEGETATION SHALL BE SEEDED, FERTILIZED, MULCHED AND/OR SODDED AS REQUIRED TO EFFECTIVELY PREVENT SOIL EROSION PER STATE REGULATIONS.
6. ALL CONSTRUCTION WITHIN PUBLIC EASEMENTS AND RIGHT-OF-WAYS SHALL MEET THE CITY OF OXFORD AND/OR LAFAYETTE COUNTY STANDARD SPECIFICATIONS, AS APPLICABLE. CONSTRUCTION WITHIN PRIVATE DEVELOPMENTS (PRIVATE STREETS, DRIVES, ALLEYS AND ASSOCIATED INFRASTRUCTURE) SHALL BE REVIEWED ON A CASE-BY-CASE BASIS.
7. THE CONTRACTOR MUST HAVE WRITTEN APPROVAL FROM THE PROJECT AND THE CITY ENGINEER BEFORE ANY CHANGE IN DESIGN IS MADE.
8. FOR INFORMATION CONCERNING THE UTILITIES, CALL 1-800-351-1111 OR THE RESPECTIVE ORGANIZATION.

WATER - CITY OF OXFORD UTILITIES/ENGINEERING

SANITARY SEWER - N/A (INDIVIDUAL ONSITE WASTEWATER SYSTEMS)

GAS - CENTERPOINTE ENERGY

ELECTRIC - NORTHEAST MISSISSIPPI ELECTRIC ASSOCIATION (NEMEA) & TENNESSEE VALLEY AUTHORITY (TVA)

TELEPHONE/TELECOMMUNICATIONS - AT&T AND C-SPIRE

CABLE TV - MAXXSOUTH BROADBAND
7. SEVENTY-TWO (72) HOURS BEFORE BEGINNING ANY EXCAVATION, THE CONTRACTOR SHALL CALL 1-800-351-1111 FOR THE LOCATION OF UNDERGROUND UTILITIES. CALL CITY OF OXFORD, PUBLIC WORKS/UTILITIES FOR THE LOCATION OF WATER LINES AND SEWER LINES.
8. THE CONTRACTOR SHALL NOT ENTER UPON NOR CAUSE DAMAGE TO ANY ADJACENT PROPERTIES WITHOUT WRITTEN PERMISSION FROM SAID PROPERTY OWNERS.
9. ALL FILL LIFTS SHALL BE COMPACTED TO A MINIMUM DENSITY OF 95% OF THE STANDARD PROCTOR DENSITY(ASTM D-698) WITH SUITABLE FILL MATERIAL ACCEPTABLE TO TESTING LABORATORY. MAXIMUM LOOSE LIFT TO BE 6".
10. ALL CONCRETE SHALL BE 4,000 PSI, AIR ENTRAINED.
11. ANY EXISTING UTILITIES REQUIRING RELOCATION OR REMOVAL SHALL BE THE DEVELOPER'S RESPONSIBILITY.
12. ALL TRAFFIC CONTROL DEVICES ON THIS PROJECT SHALL COMPLY WITH PART VI OF THE "MANUAL ON UNIFORM TRAFFIC CONTRL DEVICES" (MUTCD), LATEST EDITION.
13. ANY CONSTRUCTION STAKING REQUIRED WILL BE THE RESPONSIBILITY OF THE CONTRACTOR. COST SHALL BE ABSORBED IN OTHER BID ITEMS.
14. MISSISSIPPI STANDARD SPECIFICATIONS FOR STATE AID ROAD AND BRIDGE CONSTRUCTION, THE MOST CURRENT EDITION, AS PUBLISHED BY THE OFFICE OF STATE AID ROAD CONSTRUCTION SHALL GOVERN THE MATERIALS AND CONSTRUCTION TECHNIQUES OF THIS PROJECT.
15. ALL DRAINAGE PIPE WITHIN THE PROJECT LIMITS, OF PROPOSED CONSTRUCTION, SHALL BE VIDEO-INSPECTED BY THE CONTRACTOR AND SUBMITTED TO THE CITY OF OXFORD PRIOR TO FINAL ACCEPTANCE. ANY PIPE, DAMAGED OR OUT-OF-JOINT, SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT NO COST TO THE PROJECT.
16. COST FOR SAW-CUTTING OF EXISTING PAVEMENTS OR CURBS/SIDEWALKS SHALL BE ABSORBED IN OTHER ITEMS

WATER SPECIFICATION NOTES:

1. ALL WATER MAIN LINES SHALL BE 8" DIAMETER (MIN.) DUCTILE IRON PIPE, CLASS 350.
2. ALL WATER SERVICE LINES SHALL BE 1" MINIMUM DIAMETER AND SHALL MEET THE CITY OF OXFORD SPECIFICATIONS.
3. CONSTRUCTION AND MATERIALS FOR THE WATER DISTRIBUTION SYSTEM SHALL CONFORM TO THE SPECIFICATIONS OF THE MISSISSIPPI DEPARTMENT OF HEALTH AND THE CITY OF OXFORD.
4. WATER MAINS SHALL BE INSTALLED AT LEAST 10 FEET HORIZONTALLY AND 18 INCHES VERTICALLY FROM ANY SEWER MAIN OR MANHOLE (WATER OVER SEWER). WHERE WATER MAINS CROSS OVER SEWER MAINS, THE ABOVE REQUIREMENTS MAY BE WAIVED IF PIPE SEGMENTS ARE CENTERED TO PROVIDE MAXIMUM SPACING OF THE JOINTS OF BOTH WATER AND SEWER MAINS AND A VERTICAL SEPARATION OF AT LEAST 18 INCHES (WATER OVER SEWER) IS MAINTAINED. THE DISTANCES AND SPACING MENTIONED ABOVE ARE CLEAR DISTANCES, AND WHENEVER THE DISTANCE CAN NOT BE MET, THE MAIN MUST BE PLACED IN CASING.
5. THE CONTRACTOR SHALL VERIFY LOCATION AND SIZE OF EXISTING WATER MAINS PRIOR TO COMMENCING BORING OR CONNECTION OPERATIONS. THE CONTRACTOR SHALL PROVIDE NECESSARY ADJUSTMENTS TO BOTH NEW AND EXISTING WATER LINES TO ALLOW CONNECTION AND INSTALLATION.
6. WATER MAINS AND SERVICES MUST HAVE A MINIMUM OF 36" CLEARANCE.
7. SPACING OF FIRE HYDRANTS MY VARY, BUT SHALL IN NO CASE BE SPACED FARTHER THAN 500' APART. SPACING SHALL BE MEASURED LINEARLY ALONG STREET FRONTAGE.
8. CONTRACTOR SHALL MARK WATER CROSSINGS OF COMMON OPEN SPACE AREAS WITH CHISELED "W" ON CURB OR SIDEWALK AT CROSSING LOCATIONS.
9. METER BOXES MEETING THE CITY OF OXFORD'S REQUIREMENTS SHALL BE PROVIDED FOR EACH BUILDING BY THE DEVELOPER AND INSTALLED TO GRADE.
10. ALL TAPS MADE BY CITY OF OXFORD ARE TO BE PAID FOR BY CONTRACTOR/DEVELOPER.

SEWER NOTES:

1. SANITARY SEWER SHOULD BE LAID AT LEAST 10 FEET HORIZONTALLY AND 18" VERTICALLY FROM ANY EXISTING OR PROPOSED WATER MAIN, WITH THE WATER MAIN LOCATED ABOVE THE SEWER PIPE. SEWERS CROSSING WATER MAINS SHALL BE ARRANGED SO THAT THE SEWER JOINTS WILL BE EQUIDISTANT AND AS FAR AS POSSIBLE FROM THE WATER MAIN OR THE SEWER SHOULD BE DUCTILE IRON OR SHALL BE ENCASED IN DUCTILE IRON OR CONCRETE FOR A MINIMUM OF ONE FULL JOINT LENGTH ON EACH SIDE OF THE CROSSING.
2. ALL SANITARY SEWER MAINS AND SERVICES SHALL BE PVC SDR-26. SEWER SERVICES SHALL BE 6" IN DIAMETER, AND SHALL BE INSTALLED ON A MINIMUM 1% SLOPE. AT THE PROPERTY LINE CHISEL AN "S" ON THE CURB AT THE TAP LOCATION. SEWER SERVICES SHALL BE EXTENDED TO A DISTANCE OF 5' MINIMUM BEHIND BACK OF SIDEWALK AND LOCATED WITH 2" DIA. LOCATION PIPE.
3. CONSTRUCTION AND MATERIALS FOR THE SANITARY SEWER SYSTEM SHALL CONFORM TO THE SPECIFICATIONS OF THE MISSISSIPPI DEPARTMENT OF ENVIRONMENTAL QUALITY, LAFAYETTE COUNTY, AND MISSISSIPPI DEPARTMENT OF HEALTH.
4. ALL NEWLY CUT AND/OR FILLED AREAS LACKING ADEQUATE VEGETATION SHALL BE SEEDED, FERTILIZED, MULCHED AND/OR SODDED AS REQUIRED TO EFFECTIVELY PREVENT SOIL EROSION PER STATE REGULATIONS.
5. ALL SEWER LINES ARE TO HAVE A MANDREL PULLED AND AIR TESTED. ALL SEWER MANHOLES ARE TO BE VACUUM TESTED.
6. CONTRACTOR SHALL MARK SEWER CROSSINGS OF COMMON OPEN SPACE AREAS WITH CHISELED "S" ON CURB OR SIDEWALK AT CROSSING LOCATIONS.
7. SEWER SERVICES SHOWN FOR APPROXIMATE LOCATIONS, BUT SHALL BE LOCATED NEAR THE CENTER OF EACH LOT AND SHALL BE SPACED 10' FROM WATER SERVICES, WHERE PRACTICAL.
8. SEVENTY-TWO (72) HOURS BEFORE BEGINNING ANY EXCAVATION, THE CONTRACTOR SHALL CALL 1-800-351-1111 FOR THE LOCATION OF UNDERGROUND UTILITIES. CALL CITY OF OXFORD FOR THE LOCATION OF WATER LINES.
9. ALL TRENCHES ARE TO BE BACK-FILLED ACCORDING TO THE LAFAYETTE COUNTY STANDARD CONSTRUCTION SPECIFICATIONS AND ASTM D2321.
10. DEFLECTION TESTS SHALL BE PERFORMED ON ALL FLEXIBLE PIPE. THE TEST SHALL BE CONDUCTED AFTER THE FINAL BACKFILL HAS BEEN IN PLACE AT LEAST 30 DAYS. NO PIPE SHALL EXCEED A DEFLECTION OF 5%. IF THE DEFLECTION TEST IS TO BE RUN USING A RIGID BALL OR MANDREL, IT SHALL HAVE A DIAMETER EQUAL TO 95% OF THE INSIDE DIAMETER OF THE PIPE. THE TEST SHALL BE PERFORMED WITHOUT MECHANICAL PULLING DEVICES.

EROSION CONTROL NOTES:

1. EROSION CONTROLS ARE NOT LIMITED TO THE SPECIFIED PRACTICES; HOWEVER, ALTERNATIVE MEASURES MUST BE AS EFFECTIVE IN CONTROLLING EROSION AND SEDIMENTATION.
2. IF THE EROSION CONTROL MEASURES SELECTED AND CONSTRUCTED FAIL TO ADEQUATELY CONTROL EROSION AND OFF-SITE SEDIMENT TRANSPORT, ALTERNATIVE METHODS MUST BE USED AND APPROVED BY THE DIVISION OF ENGINEERING AND MDEQ. INADEQUATELY CONTROLLED EROSION IS A VIOLATION OF MISSISSIPPI STATE LAW AND WILL NOT BE PERMITTED.
3. ANY EROSION CONTROL MEASURES SHOWN HERE ON ARE INTENDED AS A MINIMUM GUIDE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING EROSION CONTROLS NECESSARY TO COMPLY WITH ALL APPLICABLE CITY, STATE AND FEDERAL LAWS.
4. CLEARING AND GRUBBING SHALL BE THE MINIMUM NECESSARY FOR GRADING AND EQUIPMENT OPERATION.
5. SEQUENCE CONSTRUCTION SHALL BE USED IN ORDER TO MINIMIZE EXPOSURE TIME OF CLEARED AREA.
6. AVOID GRADING ACTIVITIES DURING MONTHS OF HIGHLY EROSIIVE RAINFALL.
7. STABILIZE CLEARED AREA BEFORE PROCEEDING TO CLEAR ANOTHER BY TEMPORARILY OR PERMANENTLY PROTECTING THE DISTURBED SOIL SURFACE FROM RAINFALL IMPACTS AND RUNOFF.
8. EROSION AND SEDIMENT CONTROL MEASURES MUST BE IN PLACE AND FUNCTIONAL PRIOR TO BEGINNING EARTH MOVING OPERATIONS.
9. ALL EROSION CONTROL MEASURES MUST BE PROPERLY CONSTRUCTED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
10. EROSION CONTROL MEASURES MUST BE APPROPRIATELY ADJUSTED, RELOCATED AND MODIFIED IN ACCORDANCE WITH APPLICABLE REQUIREMENTS AND REGULATIONS TO ADDRESS CHANGING SITE CONDITIONS AS THE PROJECT PROGRESSES.
11. INSPECT ALL EROSION AND SEDIMENT CONTROL MEASURES TWICE WEEKLY, A MINIMUM OF 72 HOURS APART AND AFTER EACH RAINFALL PER MDEQ CONSTRUCTION GENERAL PERMIT REQUIREMENTS. DAILY CHECKING IS REQUIRED DURING PROLONGED RAINFALL. MAINTAIN A RAIN GAUGE ON SITE WITH A PERMANENT RAINFALL LOG. MAINTAIN A PERMANENT LOG OF CHECKS AND MAINTENANCE MEASURES.
12. KEEP CONSTRUCTION DEBRIS FROM ENTERING SWALES, DITCHES AND STREAM CHANNELS.
13. PROMPTLY BACKFILL AND STABILIZE TRENCHES AND/OR PITS.
14. DESIGNATE A SPECIFIC QUALIFIED INDIVIDUAL TO BE RESPONSIBLE FOR EROSION AND SEDIMENT CONTROLS AND TO KEEP THE PERMANENT JOB LOG. THE PERSON RESPONSIBLE FOR MAINTAINING THE EROSION CONTROL MEASURES AND LOG SHALL HAVE THE APPROPRIATE CERTIFICATION AS REQUIRED BY MDEQ. A COPY OF THIS CERTIFICATION SHALL BE MAINTAINED AT THE JOB SITE.
15. DO NOT PLACE EXCAVATION MATERIAL FROM THE PIPE TRENCHES BETWEEN THE TRENCH AND SWALES, DITCHES OR STREAMS. PLACE MATERIAL ON THE UP SLOPE SIDE OF THE EXCAVATION SUCH THAT ANY EROSION FROM IT IS CAUGHT BY THE TRENCH.
16. BUFFER ZONES SHALL BE PROVIDED TO MEET THE MINIMUM REQUIREMENTS OF THE MDEQ CONSTRUCTION GENERAL PERMIT.
17. DO NOT DESTROY, REMOVE OR DISTURB VEGETATIVE GROUND COVER MORE THAN 14 CALENDAR DAYS PRIOR TO GRADING.
18. DO NOT UNNECESSARILY REMOVE CANOPY; HOWEVER, WHEN NECESSARY, TREES AND SHRUBS SHOULD BE CUT SO THAT THEY FALL AWAY FROM THE DITCH.
19. ANY AREA THAT WILL REMAIN UNFINISHED FOR MORE THAN 14 CALENDAR DAYS SHALL HAVE APPROPRIATE ANNUAL VEGETATION FOR TEMPORARY SOIL STABILIZATION.
20. APPLY PERMANENT SOIL STABILIZATION WITH PERENNIAL VEGETATION AS SOON AS POSSIBLE, BUT NO MORE THAN 14 CALENDAR DAYS AFTER FINAL GRADING.
21. EROSION CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, THEN ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMLEMENTED TO CONTROL AND/OR TREAT THE SEDIMENT SOURCE BEFORE LAND AND/OR AQUATIC DISTURBANCE MAY CONTINUE.
22. ALL EROSION CONTROL MEASURES SHALL MEET THE MINIMUM REQUIREMENTS OF ALL FEDERAL, STATE AND LOCAL AGENCIES.
23. PROTECT INLETS DURING CONSTRUCTION. KEEP SEDIMENT OUT OF THE STORM DRAINAGE SYSTEM. MODIFY PROTECTION AS CONSTRUCTION PROGRESSES. INSPECT AND MODIFY INLET PROTECTIONS AS NECESSARY TO INSURE SATISFACTORY TRAPPING OF SEDIMENT.
24. IN ACCORDANCE WITH THE CITY OF OXFORD M54 PERMIT, ALL STATE/NPDES PERMITS ARE REQUIRED TO BE OBTAINED AND IMPLEMENTED BEFORE START-UP OF ANY CONSTRUCTION ACTIVITIES, INCLUDING, BUT NOT LIMITED TO, LAND AND/OR AQUATIC DISTURBANCE.
25. INSTALL STAKED AND ENTRENCHED MULCH SOCKS AND/OR SILT FENCE ALONG THE BASE OF ALL BACKFILLS AND CUTS ON THE DOWNHILL SIDE OF ANY STOCKPILED SOIL AND ALONG ANY DITCH BANKS IN CLEARED AREAS TO PREVENT EROSION INTO DITCHES. PLACE SILT FENCE ALONG CONTOURS, NOT ACROSS. DO NOT ALLOW SILT FENCE TO CAUSE CONCENTRATED FLOW.
26. DIVERT ALL SURFACE WATER FLOWING TOWARD THE CONSTRUCTION AREA AROUND THE CONSTRUCTION AREA BY THE USE OF DIKES, BERMS, CHANNELS OR SEDIMENT TRAPS AS NECESSARY.
27. IF REQUIRED, PLACE COFFERDAMS CONSTRUCTED WITH SANDBAGS, PLASTIC OR NON-ERODIBLE SHEETING ON EITHER SIDE OF PROPOSED LINE CROSSINGS AND EXTEND FROM BANK TO BANK TO PREVENT THE FLOW OF WATER INTO THE CONSTRUCTION AREA. HOLD WATER FROM COFFERDAMS OR EXCAVATIONS IN PROPERLY DESIGNATED SETTLING BASINS, DEWATERING PITS OR FILTER BASINS UNTIL IT IS AT LEAST AS CLEAR AS UPSTREAM WATER BEFORE DISCHARGING INTO SURFACE WATER. ENSURE THAT DISCHARGE DOES NOT CAUSE EROSION AND SEDIMENTATION.
28. DO NOT USE DITCHES FOR THE TRANSPORT OF EQUIPMENT. USE A STABILIZED PAD OF CLEAN AND PROPERLY SIZED ROCK FOR ACCESS TO ROAD CONSTRUCTION. UTILIZE EROSION AND SEDIMENT CONTROL MEASURES AS INDICATED ON THE PLANS AND IN THE CURRENT EDITION OF THE MISSISSIPPI EROSION PREVENTION AND SEDIMENT CONTROL HANDBOOK WHERE DITCH BANKS ARE DISTURBED.

GOVERNING AGENCY CONTACT INFORMATION:

LAFAYETTE COUNTY PLANNING AND DEVELOPMENT DEPARTMENT:

300 NORTH LAMAR
OXFORD, MS 38655
PHONE: (662) 236-0237

LAFAYETTE COUNTY ENGINEER:
P.O. BOX 308
OXFORD, MS 38655
PHONE: (662) 234-1763

LAFAYETTE COUNTY BUILDING INSPECTOR:
300 NORTH LAMAR
OXFORD, MS 38655
PHONE: (662) 236-0237

LAFAYETTE COUNTY FIRE DEPARTMENT:
P.O. BOX 1933
OXFORD, MS 38655
PHONE: (662) 232-2880

CITY OF OXFORD, ENGINEERING DEPARTMENT:
107 COURTHOUSE SQUARE
OXFORD, MS 38655
PHONE: (662) 232-2306

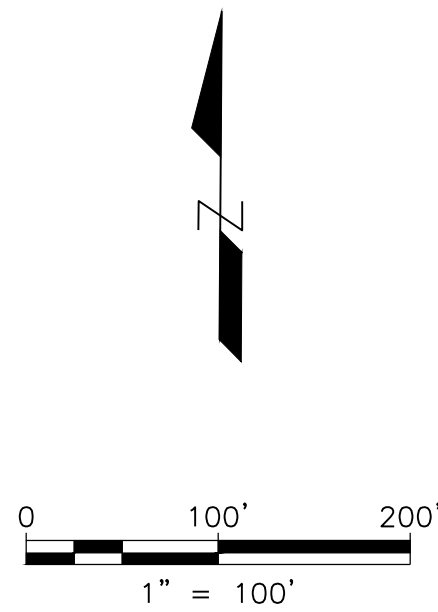
CITY OF OXFORD, UTILITIES DEPARTMENT:
300 MCELROY DRIVE
OXFORD, MS 38655
PHONE: (662) 232-2373

MISSISSIPPI DEPARTMENT OF ENVIRONMENTAL QUALITY (MDEQ):
ENVIRONMENTAL PERMITS DIVISION
OFFICE OF POLLUTION CONTROL
P.O. BOX 2261
JACKSON, MS 39225
PHONE: (601) 961-5171

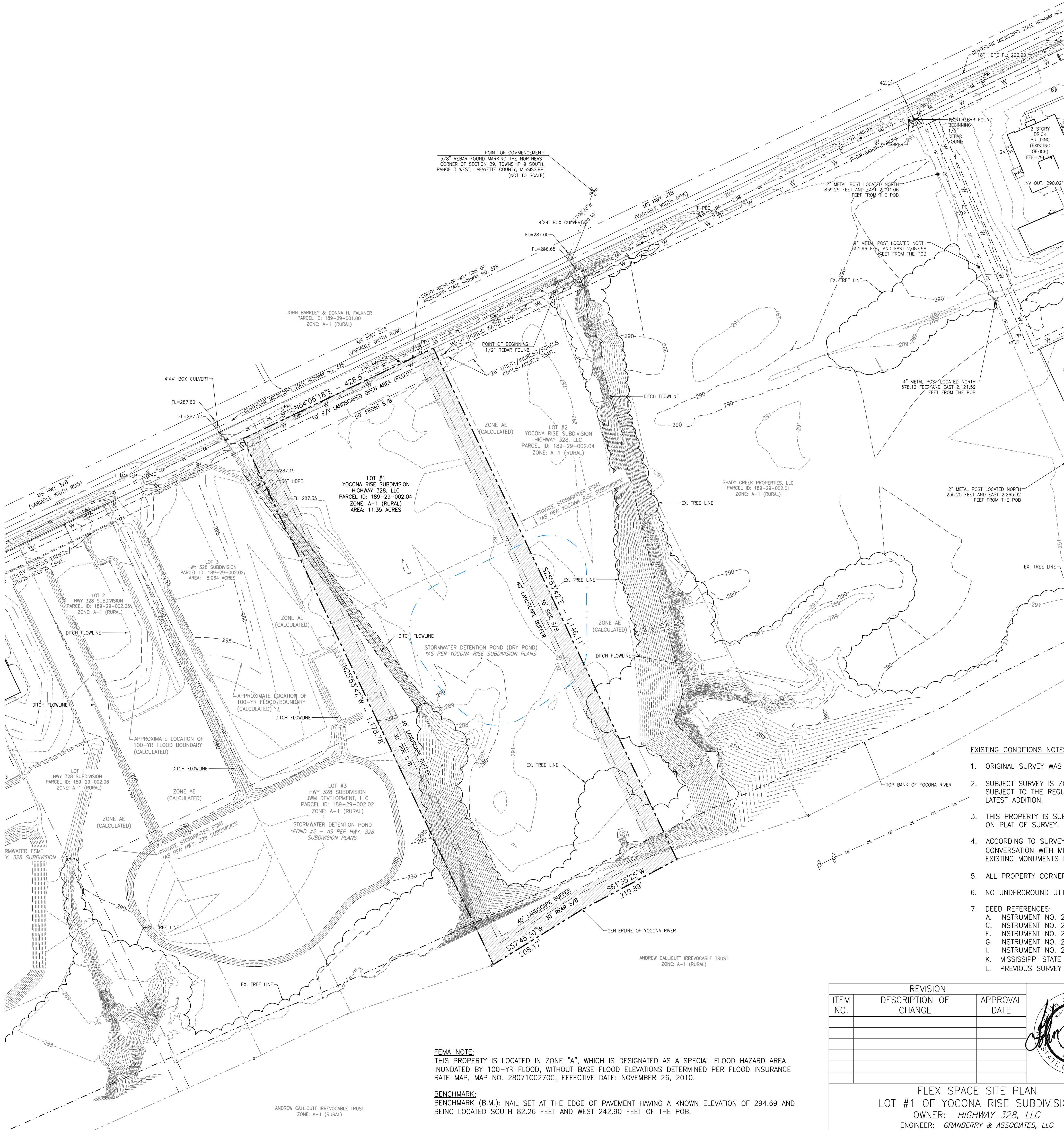
MISSISSIPPI DEPARTMENT OF HEALTH (MSDH):
WATER SUPPLY DIVISION
570 E WOODROW WILSON AVE
JACKSON, MS 39216
PHONE: (601) 576-7518

MISSISSIPPI DEPARTMENT OF TRANSPORTATION (MDOT):
150 US HWY 51
BATESVILLE, MS 38606
PHONE: (662) 563-4541

REVISION				DIVISION OF ENGINEERING		
ITEM NO.	DESCRIPTION OF CHANGE	APPROVAL DATE		GENERAL NOTES		
				LAFAYETTE COUNTY, MS		
FLEX SPACE SITE PLAN – LOT #1 OF YOCONA RISE SUBDIVISION OWNER: HIGHWAY 328, LLC ENGINEER: GRANBERRY & ASSOCIATES, LLC				SURVEY: WILLIAMS ENG. DATE: 9/20/2022 PROJECT NO.: 1000–162		
				DESIGN BY: J. GRANBERRY, P.E. DATE: 7/15/2026 BOOK:		
				DRAWN BY: J. GRANBERRY, P.E. DATE: 7/15/2026 SCALE: N.T.S.		



LEGEND	
These standard symbols may be found in the drawing.	
	PROPERTY LINES
	ADJOINING PROP. LINES
	BACK OF CURB
	FACE OF CURB
	EDGE OF PAVEMENT
	ROADWAY CENTERLINE
	EX. OH. ELECTRIC LINES
	EX. UG. ELECTRIC LINES
	EX. WATER LINES
	EX. SEWER LINES
	EX. STORM DRAIN
	EX. GAS LINE
	EX. UG. CABLE
	EX. FIBER OPTIC
	EX. FENCE LINES
	EX. SIDEWALK
	EX. EASEMENT
	PR. WATER LINE
	PR. SEWER LINE
	PR. STORM DRAIN
	DRAINAGE BASIN
	EASEMENT
	UTILITY POLE
	FIRE HYDRANT
	LIGHT POLE
	TELEPHONE PEDESTAL
	WATER VALVE
	SEWER MANHOLE
	DRAINAGE MANHOLE
	ELECTRICAL BOX



EXISTING CONDITIONS NOTES:

- ORIGINAL SURVEY WAS PERFORMED BY WILLIAMS ENGINEERING CONSULTANTS, INC. AND UPDATED IN SEPT. 2022.
- SUBJECT SURVEY IS ZONED A-1 "RURAL" AS PER LAFAYETTE COUNTY ZONING MAP DATED JANUARY 18, 2018 AND IS SUBJECT TO THE REGULATIONS, SETBACKS, AND EASEMENTS FOUND IN THE LAFAYETTE COUNTY ZONING ORDINANCE LATEST ADDITION.
- THIS PROPERTY IS SUBJECT TO ANY RIGHT-OF-WAY OR EASEMENTS RECORDED OR UNRECORDED SHOWN OR NOT SHOWN ON PLAT OF SURVEY.
- ACCORDING TO SURVEYOR, NO ROADWAY PLANS EXISTING FRONTING SUBJECT SURVEY ACCORDING TO PHONE CONVERSATION WITH MDOT OFFICIALS IN BATESVILLE, MS ON 06/17/2015. RIGHT-OF-WAY WAS ESTABLISHED FROM EXISTING MONUMENTS FOUND ALONG THE SOUTH RIGHT-OF-WAY LINE OF MISSISSIPPI STATE HIGHWAY NO. 328.
- ALL PROPERTY CORNERS SET ARE 1/2" REBAR WITH SURVEY CAP, UNLESS OTHERWISE STATED.
- NO UNDERGROUND UTILITIES REQUESTED OR SHOWN ON SUBJECT SURVEY.
- DEED REFERENCES:

A. INSTRUMENT NO. 201805953	B. INSTRUMENT NO. 201504467
C. INSTRUMENT NO. 200706934	D. INSTRUMENT NO. 202007191
E. INSTRUMENT NO. 202005956	F. INSTRUMENT NO. 201805953
G. INSTRUMENT NO. 200808264	H. INSTRUMENT NO. 200701269
I. INSTRUMENT NO. 200704195	J. INSTRUMENT NO. 201610919
K. MISSISSIPPI STATE BRIDGE PROJECT NO. BR-0845-00(006)	
L. PREVIOUS SURVEY FOR J.W. MCCURDY BY WEC DATED 06/24/2015 AND HAVING PROJECT NO. SD-152744	

FEMA NOTE:
THIS PROPERTY IS LOCATED IN ZONE "A", WHICH IS DESIGNATED AS A SPECIAL FLOOD HAZARD AREA INUNDATED BY 100-YR FLOOD, WITHOUT BASE FLOOD ELEVATIONS DETERMINED PER FLOOD INSURANCE RATE MAP, MAP NO. 28071C0270C, EFFECTIVE DATE: NOVEMBER 26, 2010.

BENCHMARK:
BENCHMARK (B.M.): NAIL SET AT THE EDGE OF PAVEMENT HAVING A KNOWN ELEVATION OF 294.69 AND BEING LOCATED SOUTH 82.26 FEET AND WEST 242.90 FEET OF THE POB.

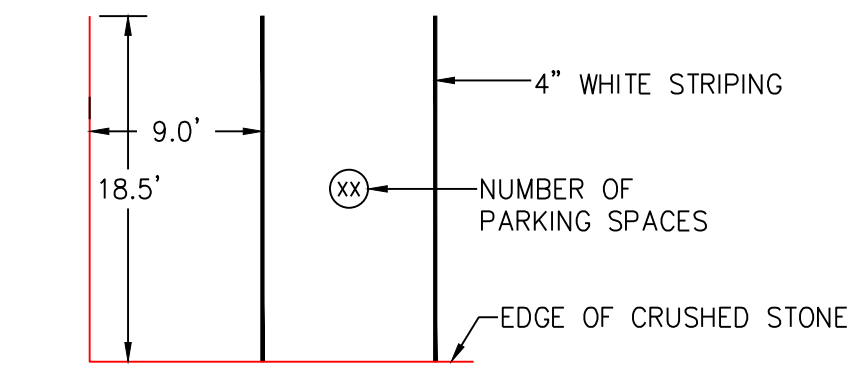
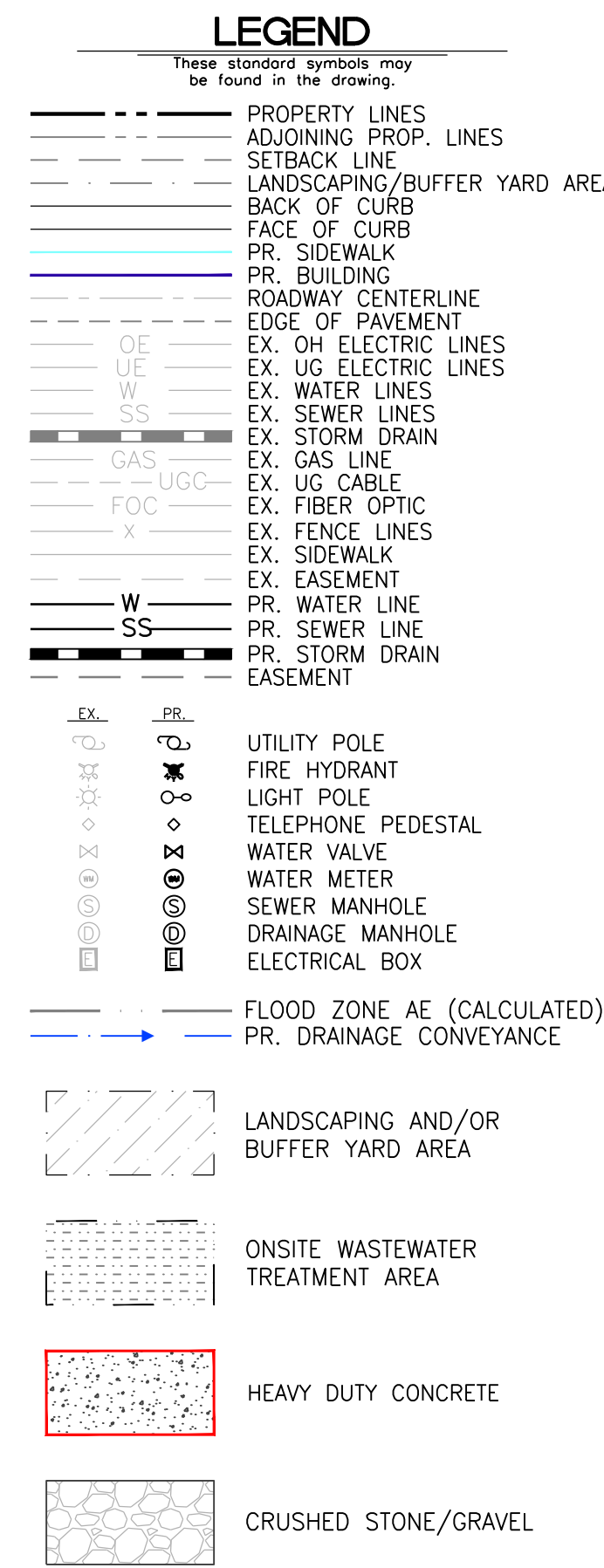
REVISION	DESCRIPTION OF CHANGE	APPROVAL DATE
ITEM NO.		



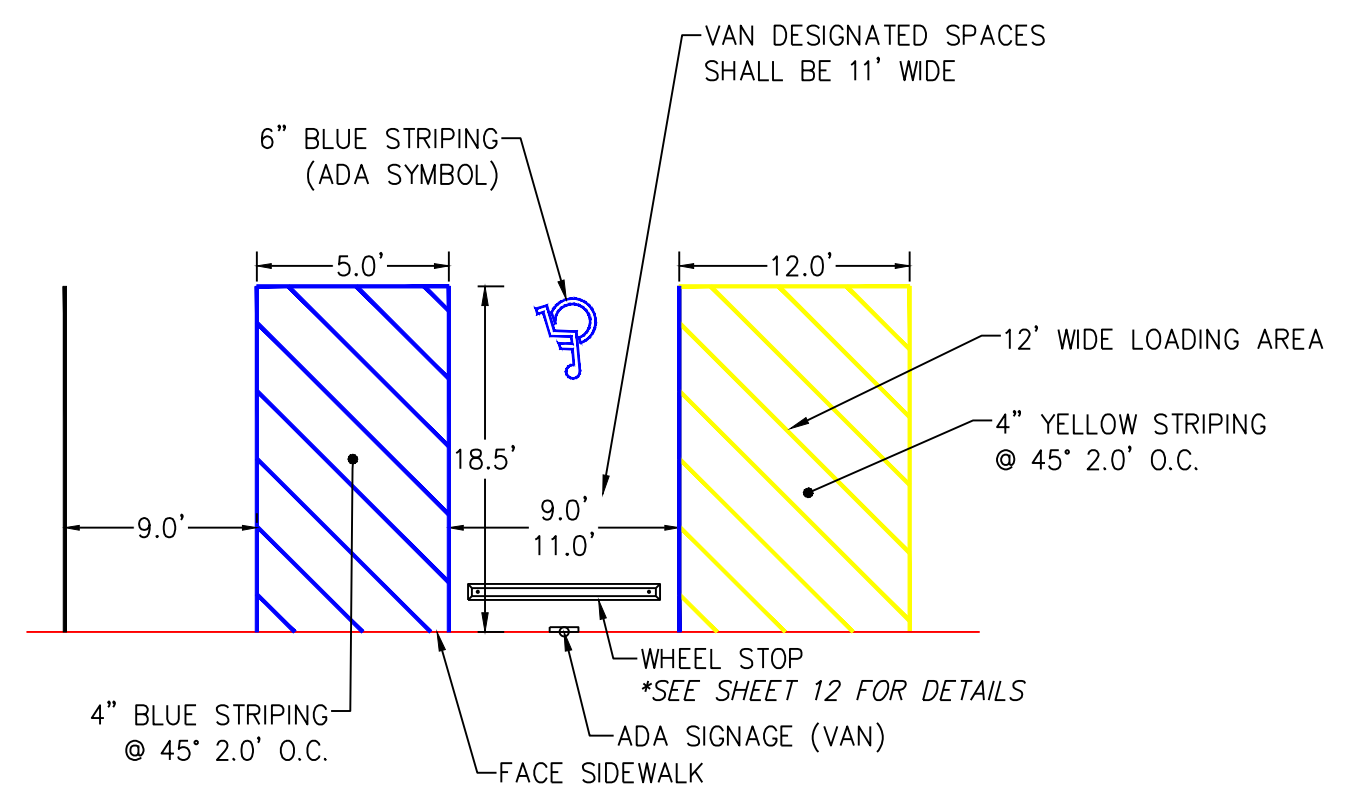
DIVISION OF ENGINEERING
EXISTING CONDITIONS
LAFAYETTE COUNTY, MS

SURVEY: WILLIAMS ENG. DATE: 9/20/2022 PROJECT NO.: 1000-162
DESIGN BY: J. GRANBERRY, P.E. DATE: 7/15/2026 BOOK:
DRAWN BY: J. GRANBERRY, P.E. DATE: 7/15/2026 SCALE: 1" = 100'

FLEX SPACE SITE PLAN
LOT #1 OF YOCONA RISE SUBDIVISION
OWNER: HIGHWAY 328, LLC
ENGINEER: GRANBERRY & ASSOCIATES, LLC



TYPICAL PARKING SPACE LAYOUT
N.T.S.



TYPICAL ADA PARKING SPACE LAYOUT
N.T.S.

SITE PLAN NOTES:

1. ALL WORK AND MATERIALS SHALL CONFORM WITH ALL LAFAYETTE COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
2. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO DIGGING. EXISTING UTILITIES SHOWN ON PLAN ARE APPROXIMATE. ANY DAMAGE TO SUCH UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
3. ALL SIDEWALK DRIVE/STREET CROSSINGS SHALL MEET CURRENT ADA AND COUNTY REGULATIONS.
4. DIMENSIONS ARE TO EDGE OF PAVEMENT/EDGE OF CRUSHED STONE, UNLESS OTHERWISE NOTED.
5. DRAINAGE AND ASSOCIATED EASEMENTS LOCATED HEREON ARE OWNED BY THE PUBLIC UNLESS OTHERWISE NOTED.
6. LAFAYETTE COUNTY SHALL HAVE THE RIGHT TO ENTER THE PROPERTY FOR THE PURPOSE OF MAINTAINING THE DRAINAGE, WATER, AND SEWER SYSTEMS LOCATED WITHIN PUBLIC EASEMENTS. HOWEVER, THE COUNTY DOES NOT HAVE THE RESPONSIBILITY TO REPAIR ANY DAMAGE TO THE YARDS, PARKING LOTS, STREETS OR DRIVES CAUSED BY SOIL SETTLEMENT OR OTHER REASONS THAT ARE NOT DIRECTLY CAUSED BY THE COUNTY'S ACTION OF PERFORMING MAINTENANCE TO THE UNDERGROUND SYSTEMS.
7. DEVELOPER/CONTRACTOR IS RESPONSIBLE FOR MAKING SURE THAT ALL SIGHT TRIANGLES ARE CLEAR OF OBSTRUCTIONS.
8. SAWCUT EXISTING EDGE OF PAVEMENT, AS NEEDED. NEW PAVEMENT ELEVATION SHALL MATCH EXISTING ALONG SAWCUT LINE.
9. LANDSCAPING ALONG FRONTAGE OF LOT SHALL COMPLY WITH THE CITY OF OXFORD LANDSCAPING STANDARDS AND REQUIREMENTS, AS PER APPROVAL OF YOCONA RISE SUBDIVISION. SEE LANDSCAPING PLAN FOR DETAILS.

REVISION		
ITEM NO.	DESCRIPTION OF CHANGE	APPROVAL DATE

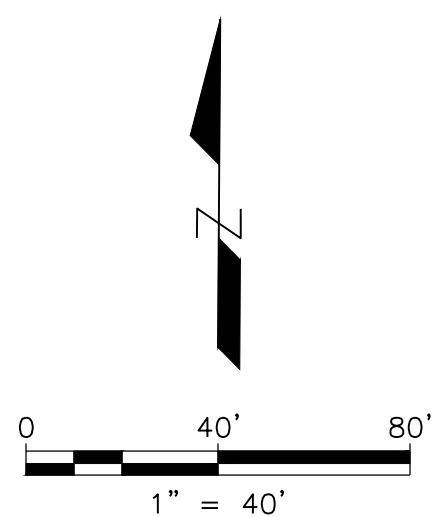
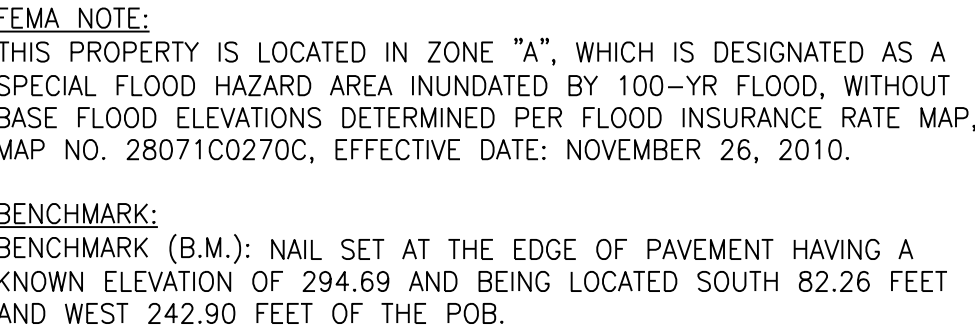
FLEX SPACE SITE PLAN -
LOT #1 OF YOCONA RISE SUBDIVISION
OWNER: HIGHWAY 328, LLC
ENGINEER: GRANBERRY & ASSOCIATES, LLC

DIVISION OF ENGINEERING

SITE PLAN

LAFAYETTE COUNTY, MS

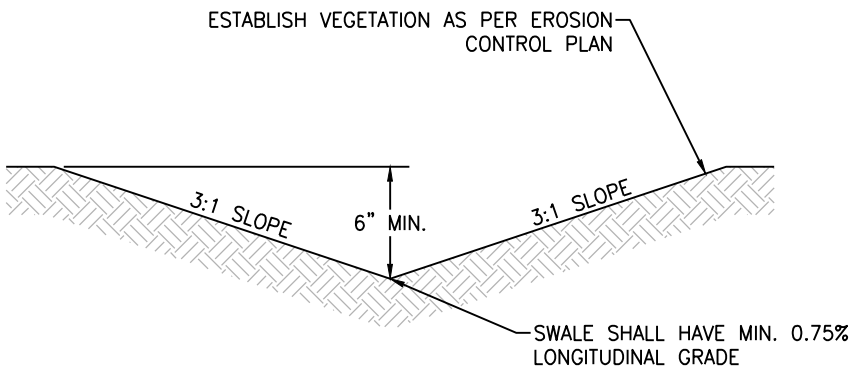
SURVEY: WILLIAMS ENG.	DATE: 9/20/2022	PROJECT NO.: 1000-162
DESIGN BY: J. GRANBERRY, P.E.	DATE: 7/15/2026	BOOK:
DRAWN BY: J. GRANBERRY, P.E.	DATE: 7/15/2026	SCALE: 1" = 40'



LEGEND

These standard symbols may be found in the drawing.

---	PROPERTY LINES
---	ADJOINING PROP. LINES
---	BACK OF CURB
---	FACE OF CURB
---	SIDEWALK
---	EDGE OF PAVEMENT
---	ROADWAY CENTERLINE
OE	EX. OF ELECTRIC LINES
UF	EX. UG ELECTRIC LINES
W	EX. WATER LINES
SS	EX. SEWER LINES
---	STORM DRAIN
GAS	EX. GAS LINE
---	UGO
---	EX. UG CABLE
FOC	EX. FIBER OPTIC
x	EX. FENCE LINES
---	SIDEWALK
---	EX. EASEMENT
W	PR. WATER LINE
SS	PR. SEWER LINE
---	PR. STORM DRAIN
---	DRAINAGE BASIN
---	EASEMENT
EX	UTILITY POLE
PR	FIRE HYDRANT
Q	LIGHT POLE
Q	TELEPHONE PEDESTAL
Q	WATER VALVE
Q	WATER METER
Q	SEWER MANHOLE
Q	DRAINAGE MANHOLE
Q	ELECTRICAL BOX
---	FLOOD ZONE AE (CALCULATED)
---	PR. DRAINAGE CONVEYANCE



DRAINAGE SWALE
SCALE: N.T.S

GRADING & DRAINAGE NOTES

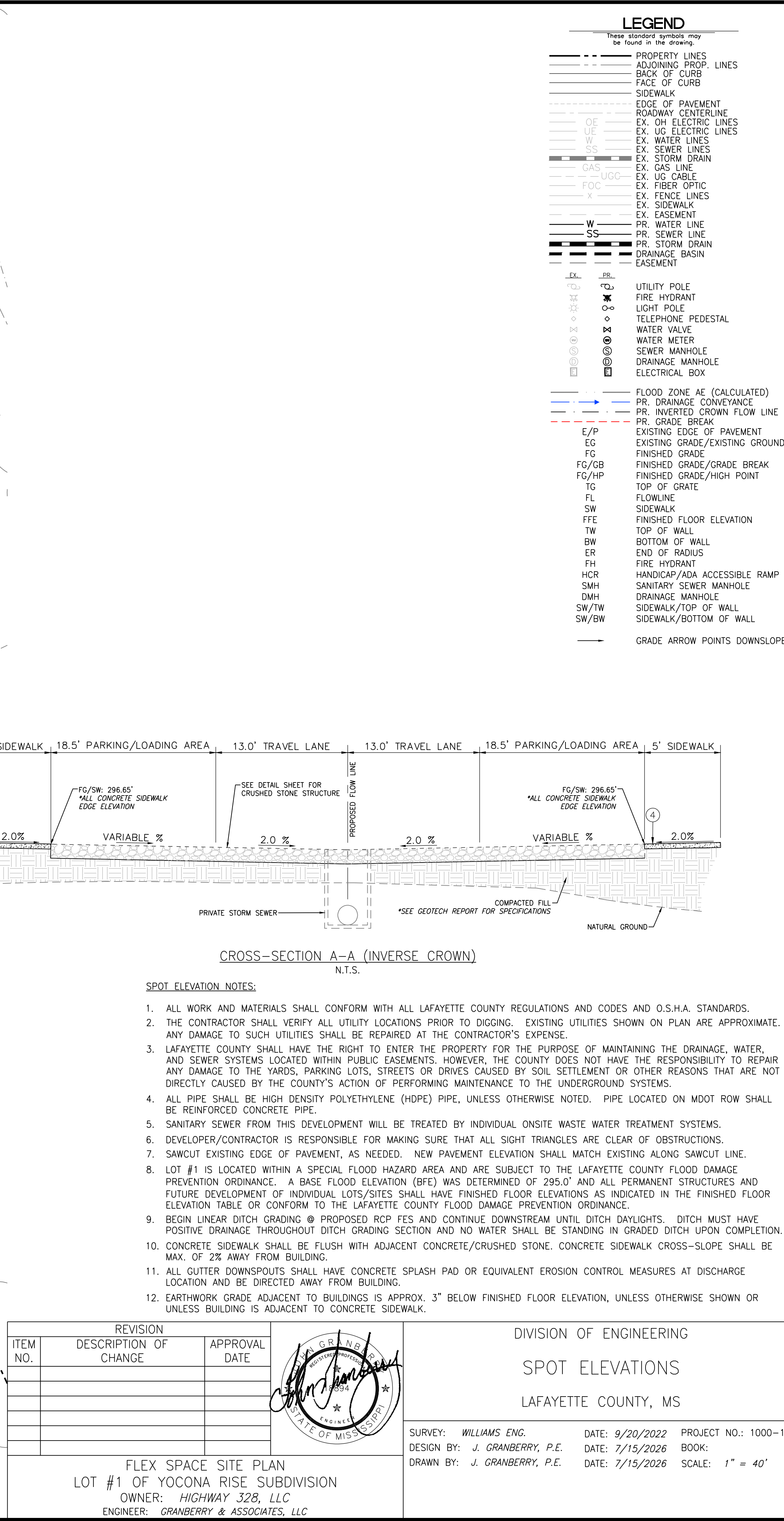
1. ALL WORK AND MATERIALS SHALL CONFORM WITH ALL LAFAYETTE COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
2. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO DIGGING. EXISTING UTILITIES SHOWN ON PLAN ARE APPROXIMATE. ANY DAMAGE TO SUCH UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
3. LAFAYETTE COUNTY SHALL HAVE THE RIGHT TO ENTER THE PROPERTY FOR THE PURPOSE OF MAINTAINING THE DRAINAGE, WATER, AND SEWER SYSTEMS LOCATED WITHIN PUBLIC EASEMENTS. HOWEVER, THE COUNTY DOES NOT HAVE THE RESPONSIBILITY TO REPAIR ANY DAMAGE TO THE YARDS, PARKING LOTS, STREETS OR DRIVES CAUSED BY SOIL SETTLEMENT OR OTHER REASONS THAT ARE NOT DIRECTLY CAUSED BY THE COUNTY'S ACTION OF PERFORMING MAINTENANCE TO THE UNDERGROUND SYSTEMS.
4. ALL PIPE SHALL BE HIGH DENSITY POLYETHYLENE (HDPE) PIPE, UNLESS OTHERWISE NOTED. PIPE LOCATED ON MDOT ROW SHALL BE REINFORCED CONCRETE PIPE.
5. SANITARY SEWER FROM THIS DEVELOPMENT WILL BE TREATED BY INDIVIDUAL ONSITE WASTE WATER TREATMENT SYSTEM.
6. DEVELOPER/CONTRACTOR IS RESPONSIBLE FOR MAKING SURE THAT ALL SIGHT TRIANGLES ARE CLEAR OF OBSTRUCTIONS.
7. DRAINAGE BASIN AREAS SHOWN WITH BOXES ARE SUBBASINS OF OVERALL BASINS NOTED ON POST DEVELOPED DRAINAGE SHEET. INDIVIDUAL SUBBASINS ARE DRAINING TO STRUCTURE OR LOCATIONS AS INDICATED IN SAID BOX.
8. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, THROUGH OBSERVATION TO DETERMINE THE SIZE OF RIPRAP STONE TO SUFFICIENT TO CREATE THE TRANSITION AT THE CONFLUENCE OF THE DETENTION POND DISCHARGE WITH THE MAIN CHANNEL. RIPRAP SHALL BE MINIMUM 200# SIZE AND SHALL REMAIN IN PLACE DURING AND FUNCTIONING DURING ALL FLOOD EVENTS.
9. SAWCUT EXISTING EDGE OF PAVEMENT, AS NEEDED. NEW PAVEMENT ELEVATION SHALL MATCH EXISTING ALONG SAWCUT LINE.
10. LOT #1 IS LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA AND ARE SUBJECT TO THE LAFAYETTE COUNTY FLOOD DAMAGE PREVENTION ORDINANCE. A BASE FLOOD ELEVATION (BFE) WAS DETERMINED OF 295.0' AND ALL PERMANENT STRUCTURES AND FUTURE DEVELOPMENT OF INDIVIDUAL LOTS/SITES SHALL HAVE FINISHED FLOOR ELEVATIONS AS INDICATED IN THE FINISHED FLOOR ELEVATION TABLE OR CONFORM TO THE LAFAYETTE COUNTY FLOOD DAMAGE PREVENTION ORDINANCE.
11. BEGIN LINEAR DITCH GRADING @ PROPOSED RCP FES AND CONTINUE DOWNSTREAM UNTIL DITCH DAYLIGHTS. DITCH MUST HAVE POSITIVE DRAINAGE THROUGHOUT DITCH GRADING SECTION AND NO WATER SHALL BE STANDING IN GRADED DITCH UNTIL COMPLETION.
12. CONCRETE SIDEWALK SHALL BE FLUSH WITH BUILDING FINISHED FLOOR AND FLUSH WITH ADJACENT CONCRETE/CRUSHED STONE. CONCRETE SIDEWALK CROSS-SLOPE SHALL BE MAX. OF 2% AWAY FROM BUILDING.
13. ALL GUTTER DOWNSPOUTS SHALL HAVE CONCRETE SPLASH PAD OR EQUIVALENT EROSION CONTROL MEASURES AT DISCHARGE LOCATION AND BE DIRECTED AWAY FROM BUILDING.

REVISION		
ITEM NO.	DESCRIPTION OF CHANGE	APPROVAL DATE

FLEX SPACE SITE PLAN
LOT #1 OF YOCONA RISE SUBDIVISION
OWNER: *HIGHWAY 328, LLC*
ENGINEER: *GRANBERRY & ASSOCIATES, LLC*

DIVISION OF ENGINEERING
GRADING & DRAINAGE
LAFAYETTE COUNTY, MS

SURVEY: WILLIAMS ENG. DATE: 9/20/2022 PROJECT NO.: 1000-162
DESIGN BY: J. GRANBERRY, P.E. DATE: 7/15/2026 BOOK:
DRAWN BY: J. GRANBERRY, P.E. DATE: 7/15/2026 SCALE: 1" = 40'



BENCHMARK:
BENCHMARK (B.M.): NAIL SET AT THE EDGE OF PAVEMENT HAVING A KNOWN ELEVATION OF 294.69 AND BEING LOCATED SOUTH 82.26 FEET AND WEST 242.90 FEET OF THE POB.

IT IS ESPECIALLY IMPORTANT TO NOTE THERE IS A 50' BUFFER ZONE THAT SHALL NOT BE DISTURBED LOCATED ALONG THE YOCONA RIVER. THIS BUFFER ZONE IS MEASURED FROM THE EXISTING TOP BANK OF THE YOCONA RIVER.

JOHN BARKLEY & DONNA H. FALKNER
PARCEL ID: 189-29-001.00
ZONE: A-1 (RURAL)

TEMPORARY CONSTRUCTION
EXIT/ENTRANCE

4'x4' BOX CULVERT
FL=287.00

LOT 2

SHADY CREEK PROPERTIES, L
ZONE: A-1 (RURAL)

ANDREW CALLICUTT IRREVOCABLE TRUST
PARCEL ID: 189-29-010.00
ZONE: A-1 (RURAL)

1. INSTALL CONSTRUCTION EXIT PER DETAIL. CONSTRUCTION EXIT LOCATION MAY BE MODIFIED ACCORDING TO INGRESS/EGRESS OF THE CONTRACTOR AS APPROVED BY ENGINEER.
2. INSTALL RAIN GAUGE NEAR CONSTRUCTION ENTRANCE OR LOCATION THAT IS EASILY ACCESSIBLE BY A VEHICLE.
3. INSTALL SILT FENCE, WATTLES, AND INLET PROTECTION ON EXISTING INLETS IN ALL LOCATIONS SHOWN THIS SHEET BEFORE CONSTRUCTION BEGINS PER DETAIL. REMOVE SEDIMENT FROM SILT FENCE ONCE SEDIMENT HAS REACHED $\frac{1}{3}$ TO $\frac{1}{2}$ OF THE HEIGHT OF THE SILT FENCE AND AS NEEDED TO CLEAR AND GRUB THE SITE.
4. INSTALL ROCK FILTER DAMS AS SHOWN.
5. INSTALL TEMPORARY SEDIMENT BASIN WITH MODIFIED OUTFALL STRUCTURES AS SHOWN THIS SHEET AND ON SHEET 16. STABILIZE SLOPES IMMEDIATELY UPON COMPLETION.
6. CONSTRUCT DRAINAGE DIVERSION CHANNELS AS SHOWN TO DIRECT STORMWATER TO SEDIMENT TRAPS & BASINS.
7. CLEAR AND GRUB THE SITE. STOCKPILE AND PROTECT TOPSOIL FOR FUTURE USE ON SLOPES. DISPOSE OF EXCESS DEBRIS PRODUCED DURING THE CLEARING AND GRUBBING ACTIVITY.
8. ALL DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED WITH SEEDING/SOD AND SEDIMENT TRAPS AND BASIN SHALL BE PROPERLY MAINTAINED. DESIGNED EROSION CONTROL MEASURES MUST REMAIN INTACT AND FUNCTIONING UNTIL STABILIZATION IS COMPLETE.
9. STORMWATER INSPECTION AND REPORTING WILL BE REQUIRED OF ALL SEDIMENT AND EROSION CONTROL MEASURES IN ACCORDANCE WITH MDEQ REGULATIONS.
10. REMOVE ANY TEMPORARY CONTROL MEASURES NOT NEEDED.
11. DUST SHALL BE CONTROLLED DURING CONSTRUCTION BY ADEQUATE USE OF WATER.
12. TRANSITION TO PHASE 2.

1. STORMWATER FROM ALL DRAINAGE BASINS DISCHARGE TO YOCONA RIVER. ACCORDING TO MISSISSIPPI DEPARTMENT OF ENVIRONMENTAL QUALITY (MDEQ) DIVISION OF WATER RESOURCES, THE WATER QUALITY OF THIS SECTION OF THE YOCONA RIVER IS NOT IMPAIRED; HOWEVER, THE YOCONA RIVER IS ON THE 303(D) LIST OF IMPAIRED WATER BODIES, AND TMDLS HAVE BEEN DEVELOPED FOR BIOLOGICAL IMPAIRMENT AND SEDIMENT.
2. DUE TO THE NATURE OF CONSTRUCTION AND FINAL OPERATIONS OF THE PROPOSED SUBDIVISION, ADDITIONAL BIOLOGICAL IMPAIRMENT IS NOT SPECIFICALLY APPLICABLE, BUT EVERY CARE SHALL BE TAKEN TO AVOID ANY FUTURE DISCHARGES RESULTING IN INCREASED BIOLOGICAL LOADING TO THE RECEIVING STREAM.

These standard symbols may be found in the drawing.

— sf — (SF) SILT FENCE

 (IP) INLET PROTECTION
 (CD) CHECK DAM

 (RD) ROCK FILTER DAM

  BRUSH FILTER BARRIER

 (WAT) WATILES
 (ST) SEDIMENT

 SEDIMENT TRAP
 SEDIMENT BASIN

  OUTLET PROTECTION




 EROSION CONTROL M

 ECM EROSION CONTROL MAT

EX.	PR
⑤	⑤

Ⓓ Ⓓ

— · —→ — DRAINAGE DIVERSION CHANNEL

25' DRAINAGE CHANNEL
BUFFER ZONE

50' DRAINAGE CHANNEL
BUFFER ZONE

 HYDRAULIC FLOW ARROWS
(DIRECTION OF WATER FLOW)

1. NO SPOIL PILES ARE TO BE UNMONITORED WITHIN BUFFER ZONE LIMITS.
2. THE DRAINAGE CHANNEL AND/OR BUFFER ZONE WILL BE PROTECTED WITH TWO ROWS OF SILT FENCE WITH WIRE BACKING AT ALL TIMES.
3. ALL AREAS TO BE DISTURBED WITHIN THE BUFFER ZONE WILL BE STABILIZED IMMEDIATELY UPON COMPLETION.
4. NO TREES ARE TO BE REMOVED AND THE MINIMAL AMOUNT OF CLEARING AND GRUBBING SHALL BE PERFORMED WITHIN THE BUFFER ZONES.
5. ANY STORMWATER NOT DRAINING TO THE PROPOSED SEDIMENT TRAP OR SEDIMENT BASINS AND DRAINING TO THE DRAINAGE CHANNEL(S) SHALL BE DIRECTED TO VEGETATED AREAS AND EVERY ATTEMPT SHALL BE MADE TO ELIMINATE THE SEDIMENTING OF STORMWATER TO ALLOW HIGHEST POSSIBLE TIMES OF CONCENTRATIONS THAT WILL AID IN INFILTRATION, FILTRATION, VELOCITY REDUCTION, AND DIFFUSION OF DISCHARGE.
6. THE OUTSIDE ROW OF SILT FENCE SHALL BE A MINIMUM OF 5' FROM THE TOP BANK OF THE DRAINAGE CHANNEL.

1. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN EROSION CONTROL DURING CONSTRUCTION BY THE PLACEMENT OF SILT FENCES OR WATTLES WHERE NECESSARY TO PREVENT DOWNSTREAM SILTATION OF ANY DITCHES, PIPES, DRAINAGE STRUCTURES, OR ADJACENT PROPERTIES. THE CONTRACTOR SHALL PROVIDE ANY ADDITIONAL EROSION CONTROL AS NEEDED OR AS DIRECTED BY THE ENGINEER.
2. ONCE CONSTRUCTION BEGINS, TWICE-WEEKLY INSPECTIONS (EVERY 72 HOURS) SHALL BE PERFORMED BY A CERTIFIED EROSION CONTROL INSPECTOR.
3. ALL NEW CUT OR FILL AREAS LACKING ADEQUATE VEGETATION SHALL BE FERTILIZED MULCHED, SEEDED, AND/OR SODDED AS REQUIRED TO EFFECTIVELY CONTROL SOIL EROSION.
4. TOTAL DISTURBED AREA IS APPROXIMATELY 6.46 ACRES.
5. DURING EXCAVATION PHASES OF STEEP SLOPES, WATTLES WITH SILT FENCE BACKING SHALL BE REQUIRED TO ELIMINATE SILTATION TRANSFER ONTO ADJACENT LANDOWNERS PROPERTY AND PUBLIC STREETS.
6. PROPOSED TEMPORARY SEDIMENT TRAPS AND BASINS SHALL BE LOCATED IN THE LOCATIONS AS SHOWN ON PLANS.
7. THE SEDIMENT REMOVAL ELEVATION SHALL BE CLEARLY MARKED WITH HIGH VISIBILITY PAINT ON THE SILT GAUGE LOCATED IN THE SEDIMENT POND.
8. TEMPORARY RISER SECTIONS SHALL BE USED ON DISCHARGE PIPES OR AN APPROVED BLOCKING METHOD. ONCE AREA IS STABILIZED, CONTRACTOR SHALL REMOVE RISER SECTION AND OUTFALL STRUCTURE SHALL CONFORM TO FINAL STORMWATER POND OUTFALL STRUCTURE, SEE SHEET 5 – GRADING & DRAINAGE IN THE YOCONA RISE SUBDIVISION PLANS.
9. THIS EROSION CONTROL PLAN ONLY APPLIES TO THE OVERALL GRADING AND DRAINAGE PLANS AS IT RELATES TO THIS PROJECT. SITE SPECIFIC EROSION CONTROL PLANS SHALL BE DESIGNED AS FUTURE DEVELOPMENT OF INDIVIDUAL LOTS/SITES ARE DEVELOPED.
10. SILT FENCE AS SHOWN MAY NOT BE PARALLEL TO CONTOURS AND LOCATIONS SHALL BE FIELD MODIFIED TO PROPERLY INSTALL SILT FENCE AND ALL BMPs.

REVISION		
ITEM NO.	DESCRIPTION OF CHANGE	APPROVAL DATE

A circular professional engineer seal for the State of Mississippi. The outer ring contains the text "JOHN GRANBERG" at the top and "STATE OF MISSISSIPPI" at the bottom. Inside the ring, the words "REGISTERED PROFESSIONAL" are at the top and "ENGINEER" is at the bottom. The year "1894" is in the center. The seal is signed with a cursive signature, likely "John H. [Name]".

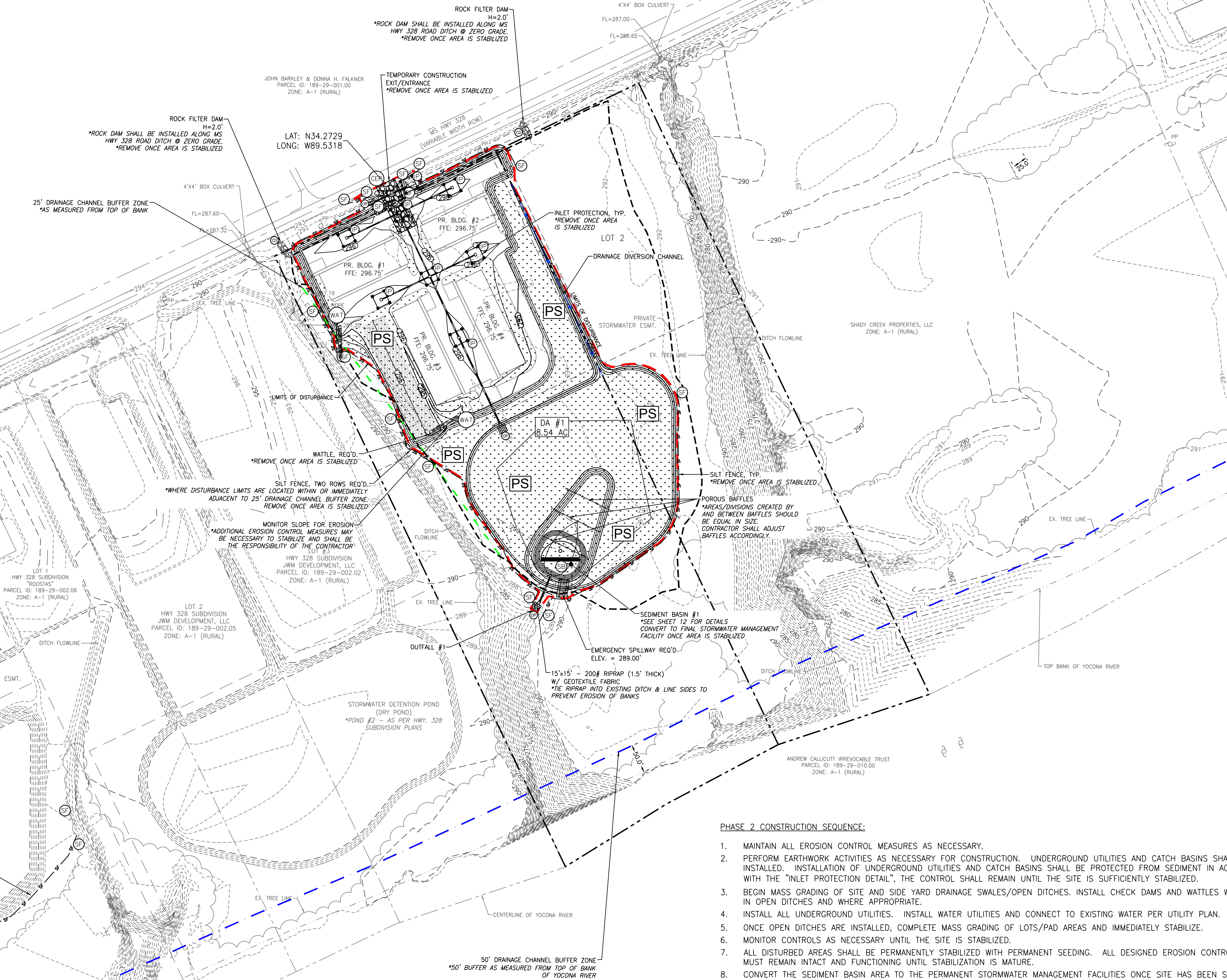
DIVISION OF ENGINEERING
EROSION CONTROL PLAN – PHASE 1
LAFAYETTE COUNTY, MS

SURVEY: WILLIAMS ENG.	DATE: 9/20/2022	PROJECT NO.: 1000-162
DESIGN BY: J. GRANBERRY, P.E.	DATE: 7/15/2026	BOOK:
DRAWN BY: J. GRANBERRY, P.E.	DATE: 7/15/2026	SCALE: 1" = 100'

FLEX SPACE SITE PLAN
LOT #1 OF YOCONA RISE SUBDIVISION
OWNER: *HIGHWAY 328, LLC*
ENGINEER: *GRANBERRY & ASSOCIATES, LLC*

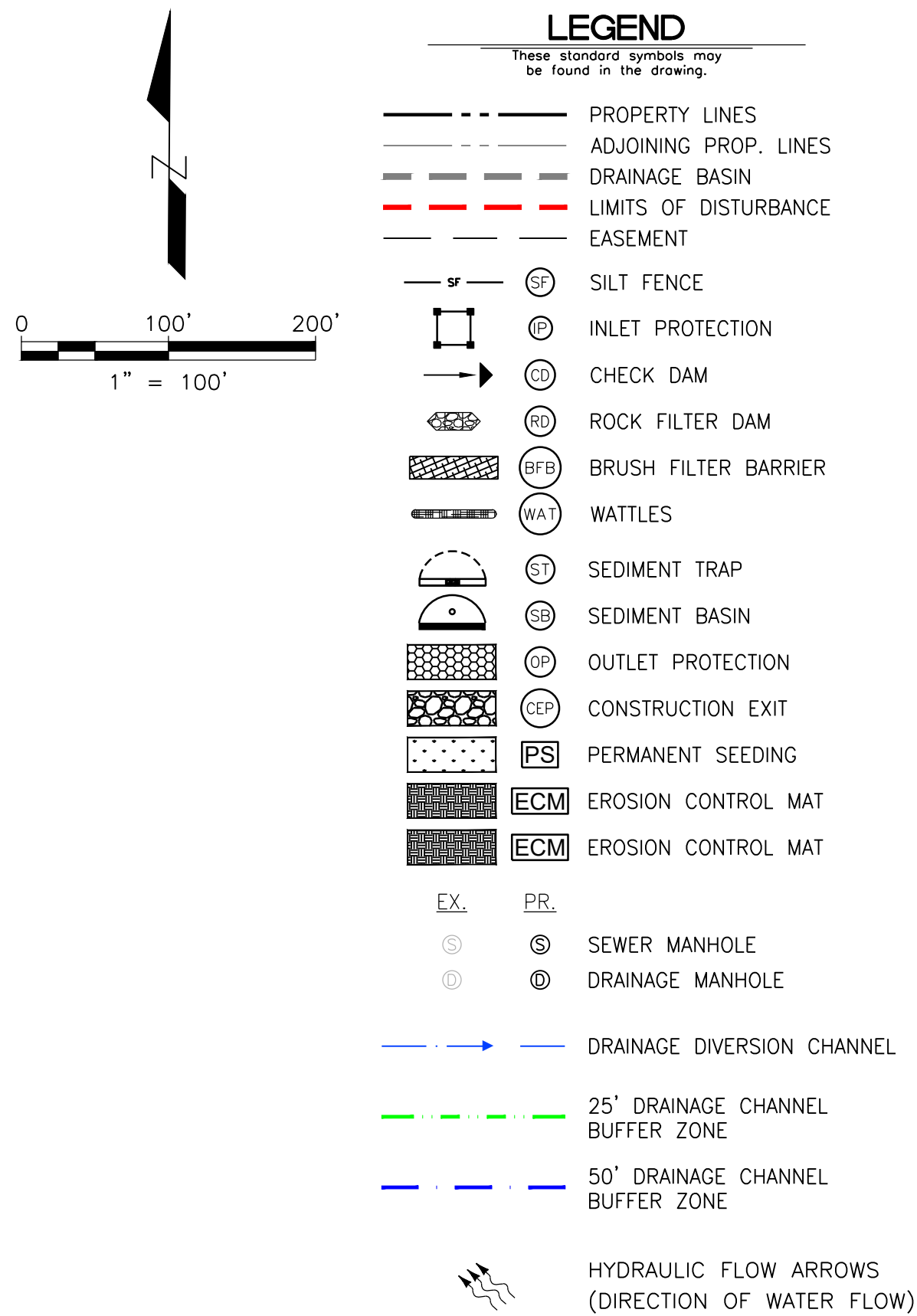
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BENCHMARK (B.M.): NAIL SET AT THE EDGE OF PAVEMENT HAVING A KNOWN ELEVATION OF 294.69 AND BEING LOCATED SOUTH 82.26 FEET AND WEST 242.90 FEET OF THE POB.

IT IS ESPECIALLY IMPORTANT TO NOTE THERE IS A 50' BUFFER ZONE THAT SHALL NOT BE DISTURBED LOCATED ALONG THE YOCONA RIVER. THIS BUFFER ZONE IS MEASURED FROM THE EXISTING TOP BANK OF THE YOCONA RIVER.



1. MAINTAIN ALL EROSION CONTROL MEASURES AS NECESSARY.
2. PERFORM EARTHWORK ACTIVITIES AS NECESSARY FOR CONSTRUCTION. UNDERGROUND UTILITIES AND CATCH BASINS SHALL BE INSTALLED. INSTALLATION OF UNDERGROUND UTILITIES AND CATCH BASINS SHALL BE PROTECTED FROM SEDIMENT IN ACCORDANCE WITH THE "INLET PROTECTION DETAIL". THE CONTROL SHALL REMAIN UNTIL THE SITE IS SUFFICIENTLY STABILIZED.
3. BEGIN MASS GRADING OF SITE AND SIDE YARD DRAINAGE SWALES/OPEN DITCHES. INSTALL CHECK DAMS AND WATTLES WHERE SHOWN IN OPEN DITCHES AND WHERE APPROPRIATE.
4. INSTALL ALL UNDERGROUND UTILITIES. INSTALL WATER UTILITIES AND CONNECT TO EXISTING WATER PER UTILITY PLAN.
5. ONCE OPEN DITCHES ARE INSTALLED, COMPLETE MASS GRADING OF LOTS/PAD AREAS AND IMMEDIATELY STABILIZE.
6. MONITOR CONTROLS AS NECESSARY UNTIL THE SITE IS STABILIZED.
7. ALL DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED WITH PERMANENT SEEDING. ALL DESIGNED EROSION CONTROL MEASURES MUST REMAIN INTACT AND FUNCTIONING UNTIL STABILIZATION IS MATURE.
8. CONVERT THE SEDIMENT BASIN AREA TO THE PERMANENT STORMWATER MANAGEMENT FACILITIES ONCE SITE HAS BEEN STABILIZED. DURING THE PROCESS OF CONVERTING THE TRAPS/BASINS TO THE PERMANENT PONDS, ALL SLOPES ON THE PONDS SHALL BE IMMEDIATELY STABILIZED.
9. STORMWATER INSPECTION AND REPORTING WILL BE REQUIRED OF ALL SEDIMENT AND EROSION CONTROL MEASURES IN ACCORDANCE WITH MDEQ REGULATIONS
10. REMOVE ANY TEMPORARY CONTROL MEASURES NOT NEEDED.
11. DUST SHALL BE CONTROLLED DURING CONSTRUCTION BY ADEQUATE USE OF WATER.

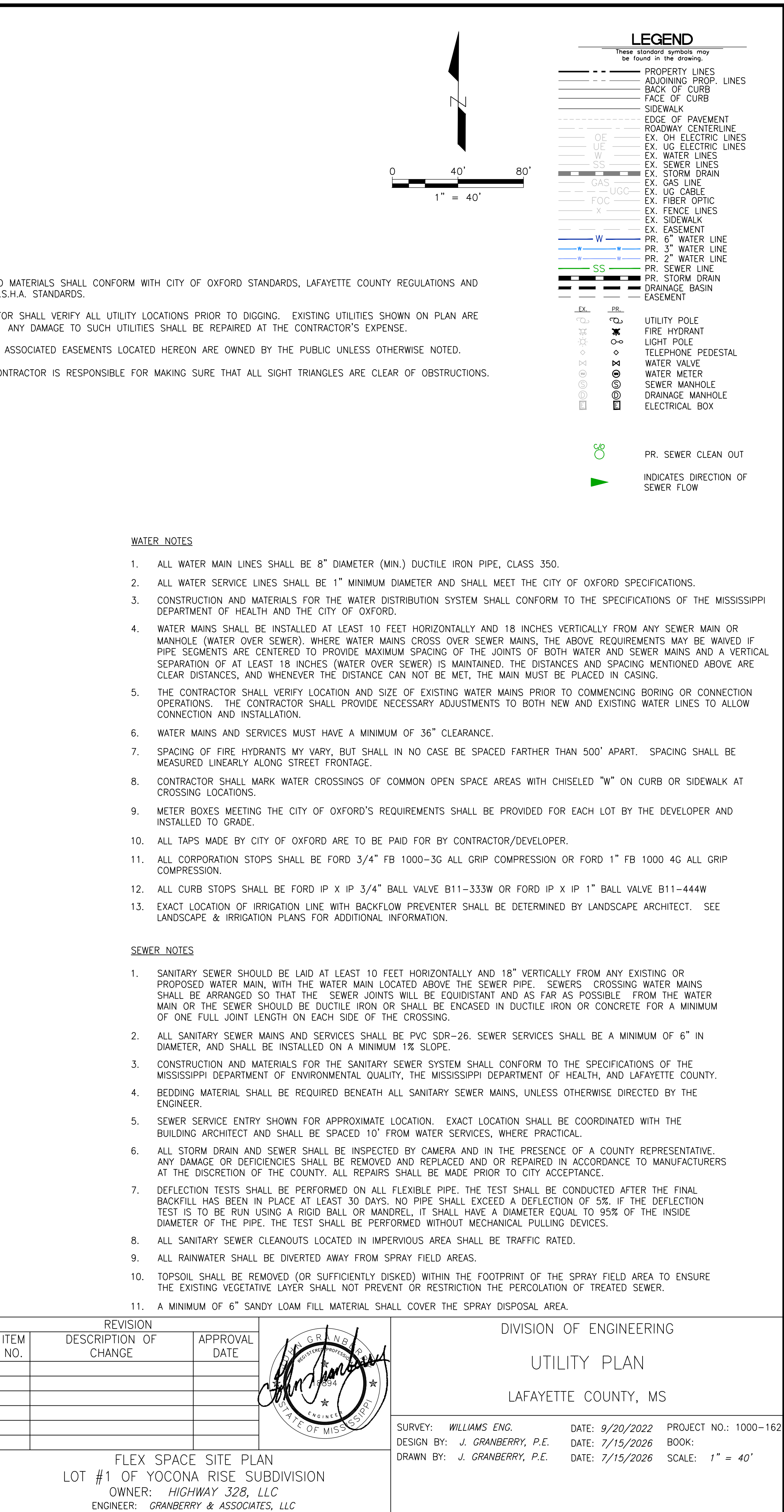
1. STORMWATER FROM ALL DRAINAGE BASINS DISCHARGE TO YOCONA RIVER. ACCORDING TO MISSISSIPPI DEPARTMENT OF ENVIRONMENTAL QUALITY (MDEQ) DIVISION OF WATER RESOURCES, THE WATER QUALITY OF THIS SECTION OF THE YOCONA RIVER IS NOT IMPAIRED; HOWEVER, THE YOCONA RIVER IS ON THE 303(D) LIST OF IMPAIRED WATER BODIES, AND TMDLS HAVE BEEN DEVELOPED FOR BIOLOGICAL IMPAIRMENT AND SEDIMENT.
2. DUE TO THE NATURE OF CONSTRUCTION AND FINAL OPERATIONS OF THE PROPOSED SUBDIVISION, ADDITIONAL BIOLOGICAL IMPAIRMENT IS NOT SPECIFICALLY APPLICABLE, BUT EVERY CARE SHALL BE TAKEN TO AVOID ANY FUTURE DISCHARGES RESULTING IN INCREASED BIOLOGICAL LOADING TO THE RECEIVING STREAM.

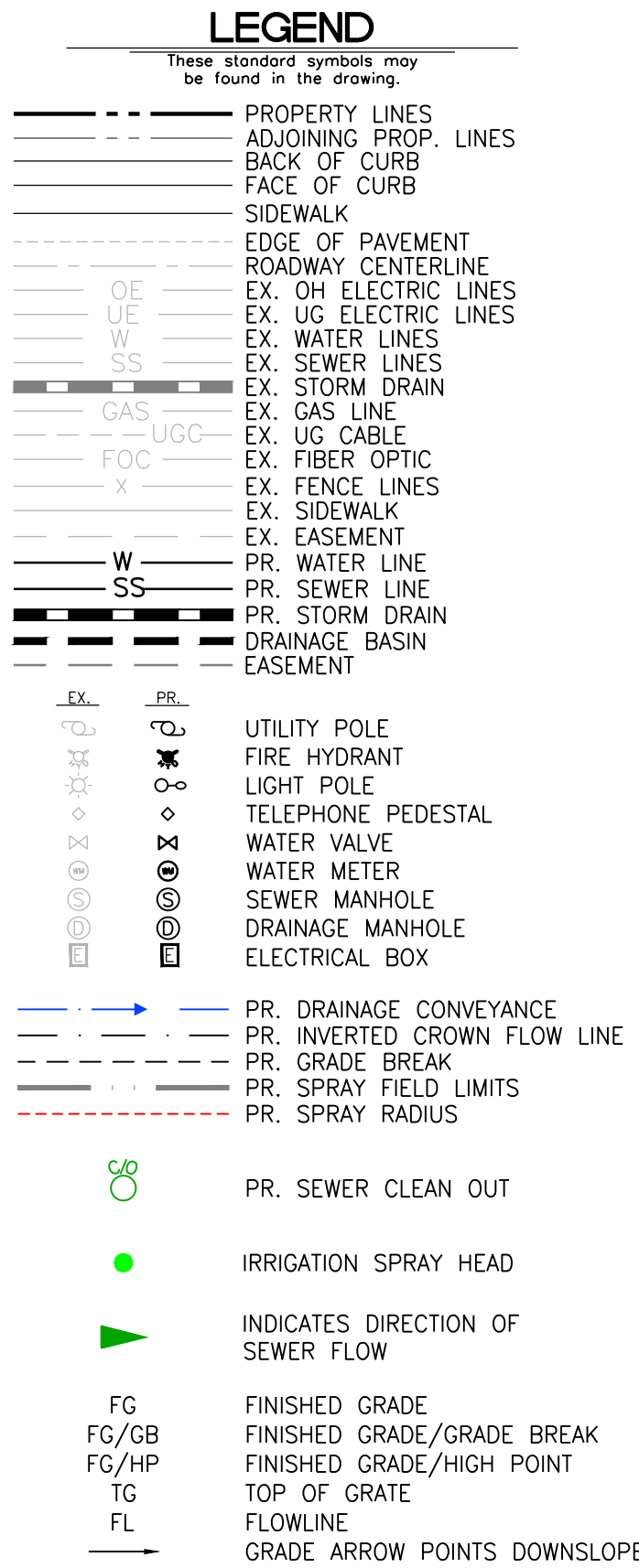


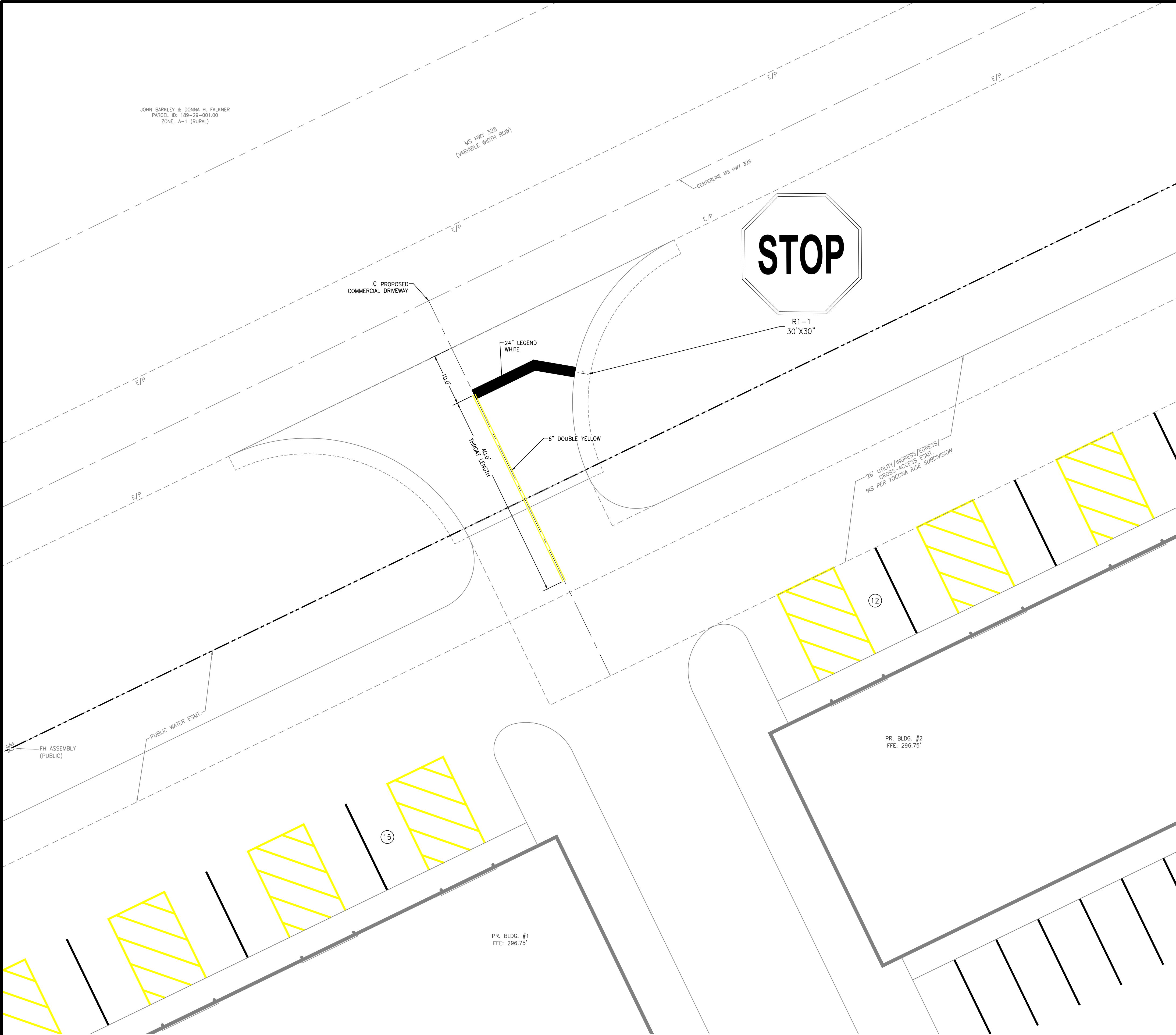
1. NO SPOIL PILES ARE TO BE UNMONITORED WITHIN BUFFER ZONE LIMITS.
2. THE DRAINAGE CHANNEL AND/OR BUFFER ZONE WILL BE PROTECTED WITH TWO ROWS OF SILT FENCE WITH WIRE BACKING AT ALL TIMES.
3. ALL AREAS TO BE DISTURBED WITHIN THE BUFFER ZONE WILL BE STABILIZED IMMEDIATELY UPON COMPLETION.
4. NO TREES ARE TO BE REMOVED AND THE MINIMAL AMOUNT OF CLEARING AND GRUBBING SHALL BE PERFORMED WITHIN THE BUFFER ZONES.
5. ANY STORMWATER NOT DRAINING TO THE PROPOSED SEDIMENT TRAP OR SEDIMENT BASINS AND DRAINING TO THE DRAINAGE CHANNEL(S) SHALL BE DIRECTED TO VEGETATED AREAS AND EVERY ATTEMPT SHALL BE MADE TO ELIMINATE THE CHANNELIZING OF STORMWATER TO ALLOW HIGHEST POSSIBLE TIMES OF CONCENTRATIONS THAT WILL AID IN INFILTRATION, FILTRATION, VELOCITY REDUCTION, AND DIFFUSION OF DISCHARGE.
6. THE OUTSIDE ROW OF SILT FENCE SHALL BE A MINIMUM OF 5' FROM THE TOP BANK OF THE DRAINAGE CHANNEL.

1. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN EROSION CONTROL DURING CONSTRUCTION BY THE PLACEMENT OF SILT FENCES OR WATTLES WHERE NECESSARY TO PREVENT DOWNSTREAM SILTATION OF ANY DITCHES, PIPES, DRAINAGE STRUCTURES, OR ADJACENT PROPERTIES. THE CONTRACTOR SHALL PROVIDE ANY ADDITIONAL EROSION CONTROL AS NEEDED OR AS DIRECTED BY THE ENGINEER.
2. ONCE CONSTRUCTION BEGINS, TWICE-WEEKLY INSPECTIONS (EVERY 72 HOURS) SHALL BE PERFORMED BY A CERTIFIED EROSION CONTROL INSPECTOR.
3. ALL NEW CUT OR FILL AREAS LACKING ADEQUATE VEGETATION SHALL BE FERTILIZED MULCHED, SEEDED, AND/OR SODDED AS REQUIRED TO EFFECTIVELY CONTROL SOIL EROSION.
4. TOTAL DISTURBED AREA IS APPROXIMATELY 6.46 ACRES.
5. DURING EXCAVATION PHASES OF STEEP SLOPES, WATTLES WITH SILT FENCE BACKING SHALL BE REQUIRED TO ELIMINATE SILTATION TRANSFER ONTO ADJACENT LANDOWNERS PROPERTY AND PUBLIC STREETS.
6. PROPOSED TEMPORARY SEDIMENT TRAPS AND BASINS SHALL BE LOCATED IN THE LOCATIONS AS SHOWN ON PLANS.
7. THE SEDIMENT REMOVAL ELEVATION SHALL BE CLEARLY MARKED WITH HIGH VISIBILITY PAINT ON THE SILT GAUGE LOCATED IN THE SEDIMENT POND.
8. TEMPORARY RISER SECTIONS SHALL BE USED ON DISCHARGE PIPES OR AN APPROVED BLOCKING METHOD. ONCE AREA IS STABILIZED, CONTRACTOR SHALL REMOVE RISER SECTION AND OUTFALL STRUCTURE SHALL CONFORM TO FINAL STORMWATER POND OUTFALL STRUCTURE, SEE SHEET 5 - GRADING & DRAINAGE OF THE YOCONA RISE SUBDIVISION PLANS.
9. THIS EROSION CONTROL PLAN ONLY APPLIES TO THE OVERALL GRADING AND DRAINAGE PLANS AS IT RELATES TO THIS PROJECT. SITE SPECIFIC EROSION CONTROL PLANS SHALL BE DESIGNED AS FUTURE DEVELOPMENT OF INDIVIDUAL LOTS/SITES ARE DEVELOPED.
10. SILT FENCE AS SHOWN MAY NOT BE PARALLEL TO CONTOURS AND LOCATIONS SHALL BE FIELD MODIFIED TO PROPERLY INSTALL SILT FENCE AND ALL BMPs.

REVISION			DIVISION OF ENGINEERING		
ITEM NO.	DESCRIPTION OF CHANGE		APPROVAL DATE	EROSION CONTROL PLAN - PHASE 2	
				LAFAYETTE COUNTY, MS	
FLEX SPACE SITE PLAN LOT #1 OF YOCONA RISE SUBDIVISION OWNER: HIGHWAY 328, LLC ENGINEER: GRANBERRY & ASSOCIATES, LLC			SURVEY: WILLIAMS ENG. DESIGN BY: J. GRANBERRY, P.E. DRAWN BY: J. GRANBERRY, P.E.	DATE: 9/20/2022 DATE: 7/15/2026 DATE: 7/15/2026	PROJECT NO.: 1000-162 BOOK: SCALE: 1" = 100'



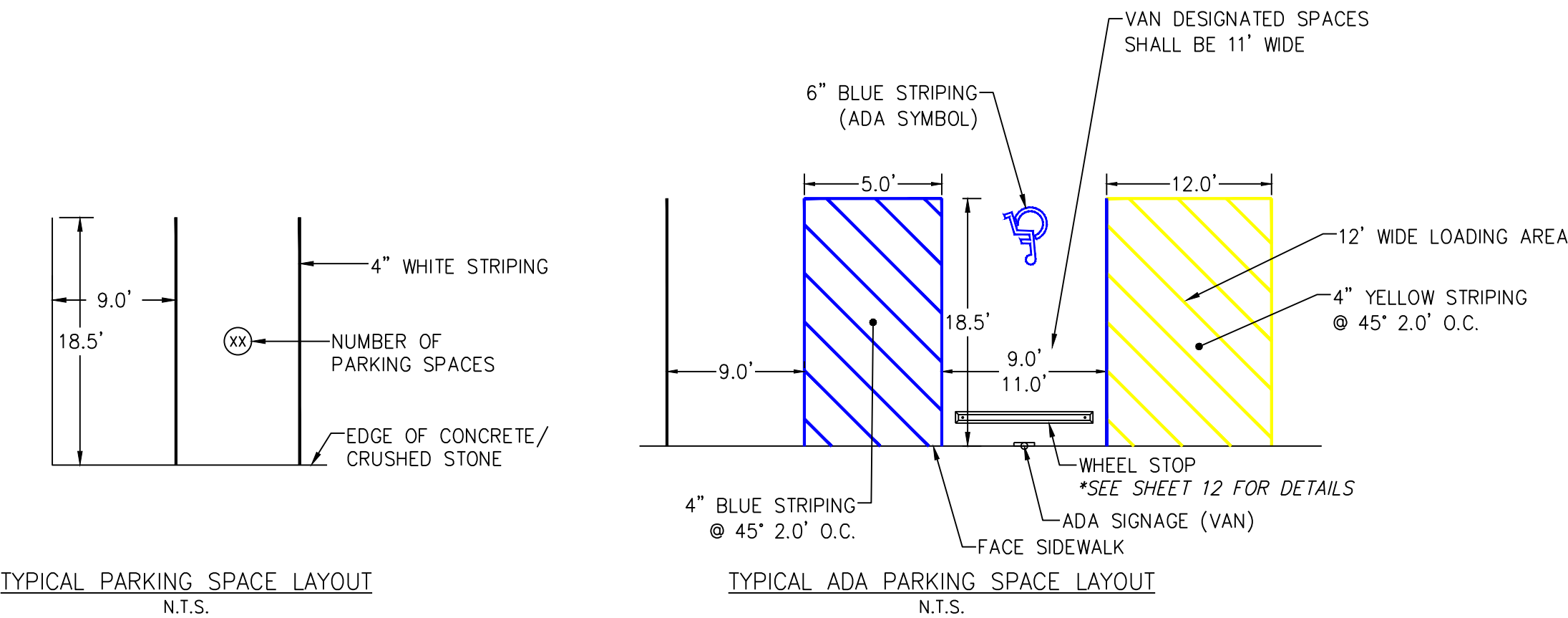




LEGEND
These standard symbols may be found in the drawing.

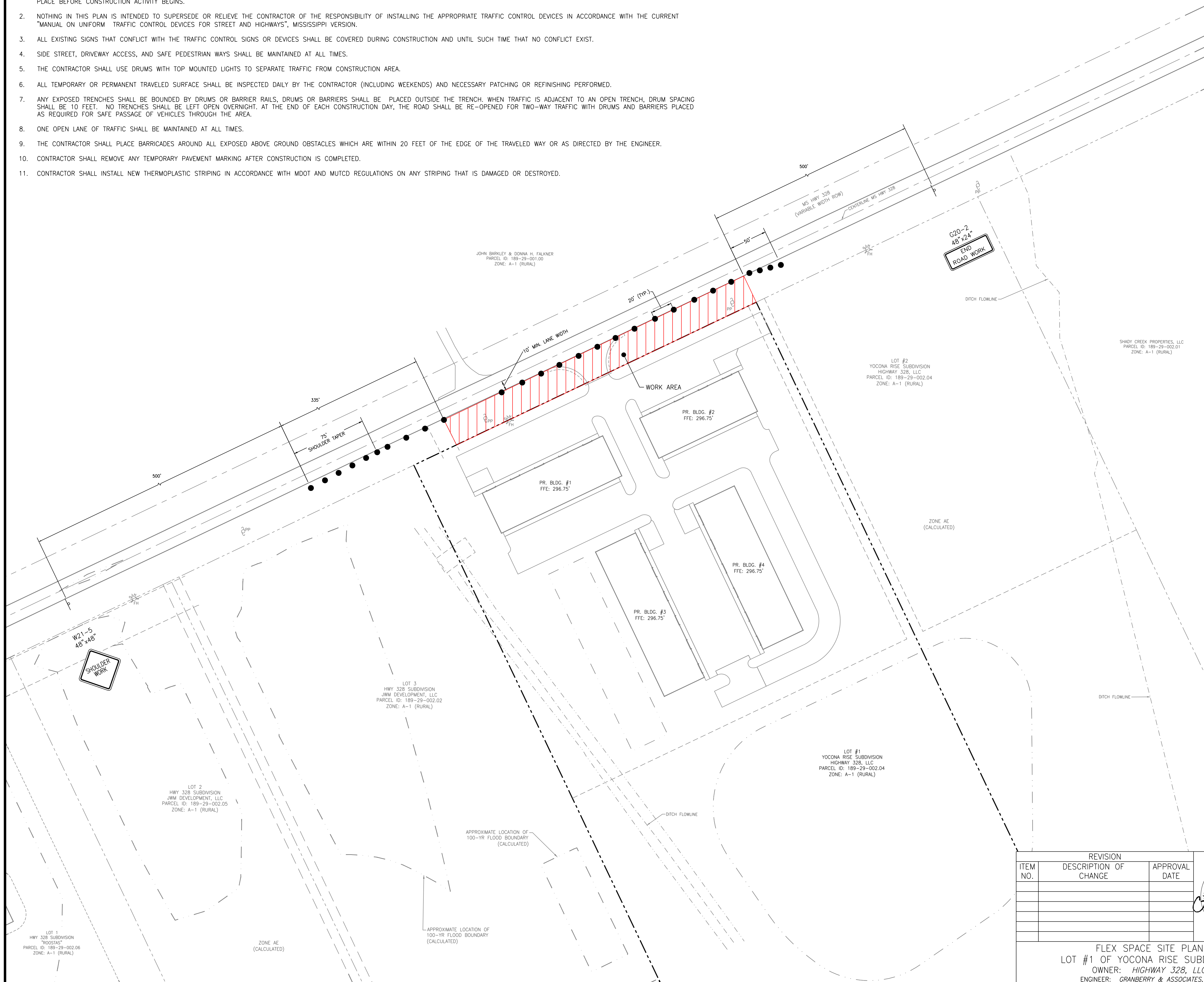
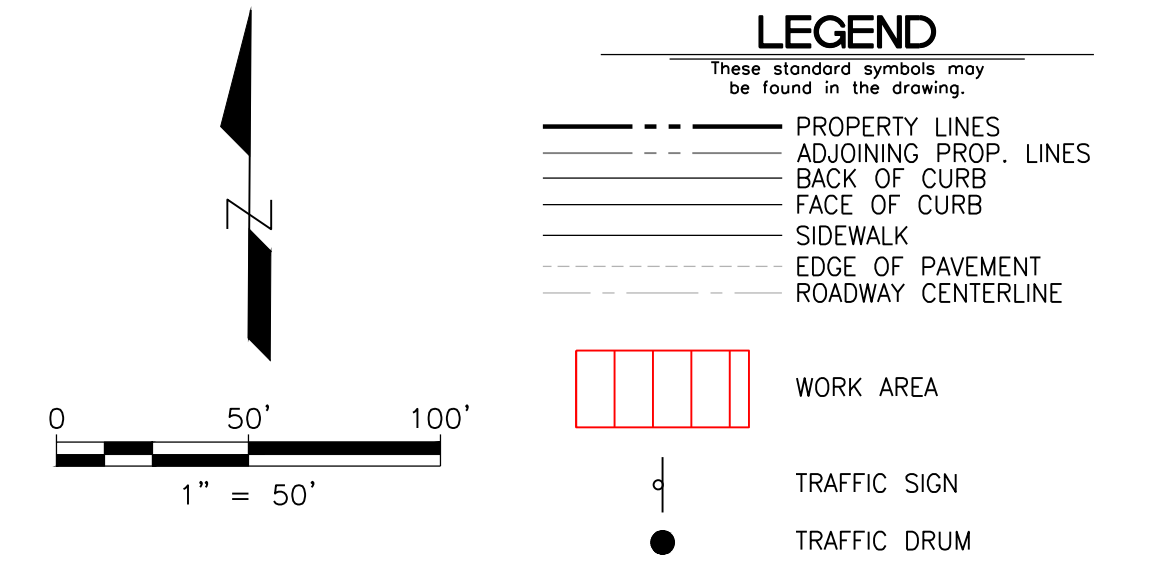
---	PROPERTY LINES
- - -	ADJOINING PROP. LINES
=====	BACK OF CURB
=====	FACE OF CURB
-----	SIDEWALK
-----	EDGE OF PAVEMENT
-----	ROADWAY CENTERLINE
OE	EX. OH. ELECTRIC LINES
UE	EX. UG. ELECTRIC LINES
W	EX. WATER LINES
SS	EX. SEWER LINES
---	EX. STORM DRAIN
---	EX. GAS LINE
UGC	EX. UG. CABLE
FOC	EX. FIBER OPTIC
x	EX. FENCE LINES
---	EX. SIDEWALK
---	EX. EASEMENT
W	PR. WATER LINE
SS	PR. SEWER LINE
---	PR. STORM DRAIN
---	PR. STORM DRAIN
---	DRAINAGE BASIN
---	EASEMENT
EX.	UTILITY POLE
PR.	FIRE HYDRANT
	LIGHT POLE
	TELEPHONE PEDESTAL
	WATER VALVE
	WATER METER
	SEWER MANHOLE
	DRAINAGE MANHOLE
	ELECTRICAL BOX
	REGULATORY TRAFFIC SIGN

- SIGNING & STRIPING PLAN NOTES:**
- NOTHING IN THIS PLAN IS INTENDED TO SUPERSEDE OR RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF INSTALLING THE APPROPRIATE TRAFFIC CONTROL DEVICES & PAVEMENT MARKINGS IN ACCORDANCE WITH THE CURRENT "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREET AND HIGHWAYS", MISSISSIPPI VERSION.
 - ALL EXISTING SIGNS THAT CONFLICT WITH THE TRAFFIC CONTROL SIGNS OR DEVICES SHALL BE COVERED DURING CONSTRUCTION AND UNTIL SUCH TIME THAT NO CONFLICT EXIST.
 - SIDE STREET, DRIVEWAY ACCESS, AND SAFE PEDESTRIAN WAYS SHALL BE MAINTAINED AT ALL TIMES.
 - ALL TEMPORARY OR PERMANENT TRAVELED SURFACE SHALL BE INSPECTED DAILY BY THE CONTRACTOR (INCLUDING WEEKENDS) AND NECESSARY PATCHING OR REFINISHING PERFORMED.
 - ALL STRIPING LOCATED ON MDOT RIGHT OF WAY SHALL BE THERMOPLASTIC AND SHALL CONFORM TO THE LATEST VERSION OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREET AND HIGHWAYS" AND TO MDOT STANDARDS.
 - CONTRACTOR SHALL INSTALL NEW THERMOPLASTIC STRIPING IN ACCORDANCE WITH MDOT AND MUTCD REGULATIONS ON ANY STRIPING THAT IS DAMAGED OR DESTROYED.



REVISION				DIVISION OF ENGINEERING		
ITEM NO.	DESCRIPTION OF CHANGE	APPROVAL DATE		STRIPING & SIGNING PLAN		
				LAFAYETTE COUNTY, MS		
FLEX SPACE SITE PLAN LOT #1 OF YOCONA RISE SUBDIVISION OWNER: HIGHWAY 328, LLC ENGINEER: GRANBERRY & ASSOCIATES, LLC				SURVEY: WILLIAMS ENG. DATE: 9/20/2022 PROJECT NO.: 1000-162 DESIGN BY: J. GRANBERRY, P.E. DATE: 7/15/2026 BOOK: DRAWN BY: J. GRANBERRY, P.E. DATE: 7/15/2026 SCALE: 1" = 40'		

1. THE CONTRACTOR SHALL NOTIFY LAFAYETTE COUNTY A MINIMUM OF 24 HOURS PRIOR TO COMMENCING CONSTRUCTION OR IMPLEMENTING A TRAFFIC CONTROL PLAN. ALL TRAFFIC CONTROL DEVICES MUST BE IN PLACE BEFORE CONSTRUCTION ACTIVITY BEGINS.
2. NOTHING IN THIS PLAN IS INTENDED TO SUPERSEDE OR RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF INSTALLING THE APPROPRIATE TRAFFIC CONTROL DEVICES IN ACCORDANCE WITH THE CURRENT "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREET AND HIGHWAYS", MISSISSIPPI VERSION.
3. ALL EXISTING SIGNS THAT CONFLICT WITH THE TRAFFIC CONTROL SIGNS OR DEVICES SHALL BE COVERED DURING CONSTRUCTION AND UNTIL SUCH TIME THAT NO CONFLICT EXIST.
4. SIDE STREET, DRIVEWAY ACCESS, AND SAFE PEDESTRIAN WAYS SHALL BE MAINTAINED AT ALL TIMES.
5. THE CONTRACTOR SHALL USE DRUMS WITH TOP MOUNTED LIGHTS TO SEPARATE TRAFFIC FROM CONSTRUCTION AREA.
6. ALL TEMPORARY OR PERMANENT TRAVELED SURFACE SHALL BE INSPECTED DAILY BY THE CONTRACTOR (INCLUDING WEEKENDS) AND NECESSARY PATCHING OR REFINISHING PERFORMED.
7. ANY EXPOSED TRENCHES SHALL BE BOUNDED BY DRUMS OR BARRIER RAILS, DRUMS OR BARRIERS SHALL BE PLACED OUTSIDE THE TRENCH. WHEN TRAFFIC IS ADJACENT TO AN OPEN TRENCH, DRUM SPACING SHALL BE 10 FEET. NO TRENCHES SHALL BE LEFT OPEN OVERNIGHT. AT THE END OF EACH CONSTRUCTION DAY, THE ROAD SHALL BE RE-OPENED FOR TWO-WAY TRAFFIC WITH DRUMS AND BARRIERS PLACED AS REQUIRED FOR SAFE PASSAGE OF VEHICLES THROUGH THE AREA.
8. ONE OPEN LANE OF TRAFFIC SHALL BE MAINTAINED AT ALL TIMES.
9. THE CONTRACTOR SHALL PLACE BARRICADES AROUND ALL EXPOSED ABOVE GROUND OBSTACLES WHICH ARE WITHIN 20 FEET OF THE EDGE OF THE TRAVELED WAY OR AS DIRECTED BY THE ENGINEER.
10. CONTRACTOR SHALL REMOVE ANY TEMPORARY PAVEMENT MARKING AFTER CONSTRUCTION IS COMPLETED.
11. CONTRACTOR SHALL INSTALL NEW THERMOPLASTIC STRIPING IN ACCORDANCE WITH MDOT AND MUTCD REGULATIONS ON ANY STRIPING THAT IS DAMAGED OR DESTROYED.



FEMA NOTE:
THIS PROPERTY IS LOCATED IN ZONE "A", WHICH IS DESIGNATED AS A SPECIAL FLOOD HAZARD AREA INUNDATED BY 100-YR FLOOD, WITHOUT BASE FLOOD ELEVATIONS DETERMINED PER FLOOD INSURANCE RATE MAP, MAP NO. 28071C0270C, EFFECTIVE DATE: NOVEMBER 26, 2010.

BENCHMARK:
BENCHMARK (B.M.): NAIL SET AT THE EDGE OF PAVEMENT HAVING A KNOWN ELEVATION OF 294.69 AND BEING LOCATED SOUTH 82.26 FEET AND WEST 242.90 FEET OF THE POB.

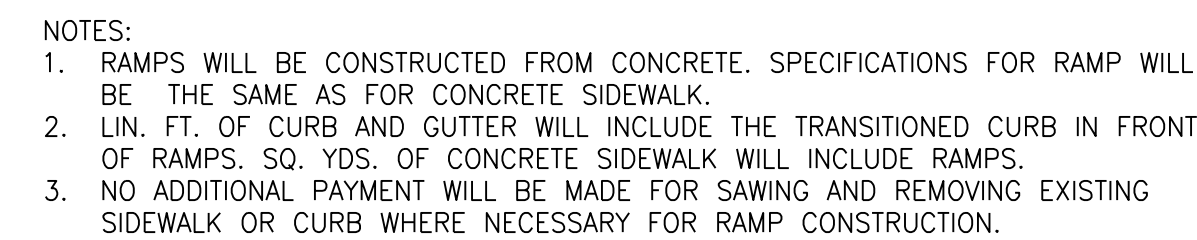
REVISION		
ITEM NO.	DESCRIPTION OF CHANGE	APPROVAL DATE



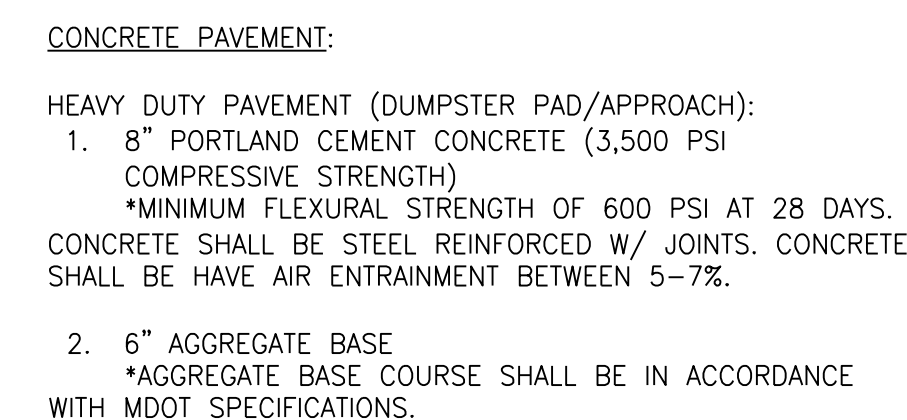
DIVISION OF ENGINEERING
TRAFFIC CONTROL PLAN
LAFAYETTE COUNTY, MS

SURVEY: WILLIAMS ENG.	DATE: 9/20/2022	PROJECT NO.: 1000-162
DESIGN BY: J. GRANBERRY, P.E.	DATE: 7/15/2026	BOOK:
DRAWN BY: J. GRANBERRY, P.E.	DATE: 7/15/2026	SCALE: 1" = 50'

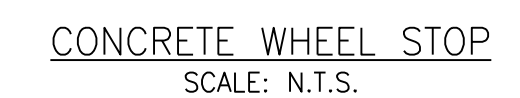
FLEX SPACE SITE PLAN
LOT #1 OF YOCONA RISE SUBDIVISION
OWNER: HIGHWAY 328, LLC
ENGINEER: GRANBERRY & ASSOCIATES, LLC



HANDICAP RAMP TYPE B
SCALE: N.T.S.



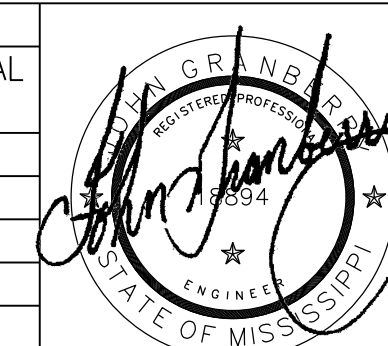
HEAVY DUTY CONCRETE PAVING SECTION
(CONCRETE APRON)
SCALE: N.T.S.



DIMENSION	SIZE
SIZE OF HYDRANT VALVE	5 1/4"
A	32 1/8"
B	15 1/2"
C	7 3/8"
D	8 1/2"
E	9"

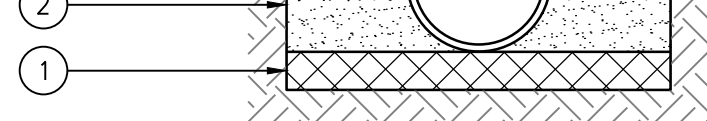
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FLEX SPACE SITE PLAN –
LOT #1 OF YOCONA RISE SUBDIVISION
OWNER: *HIGHWAY 328, LLC*
ENGINEER: *GRANBERRY & ASSOCIATES, LLC*



DIVISION OF ENGINEERING
CONSTRUCTION DETAILS
LAFAYETTE COUNTY, MS

SURVEY: WILLIAMS ENG.	DATE: 9/20/2022	PROJECT NO.: 1000-162
DESIGN BY: J. GRANBERRY, P.E.	DATE: 7/15/2026	BOOK:
DRAWN BY: J. GRANBERRY, P.E.	DATE: 7/15/2026	SCALE: N.T.S.

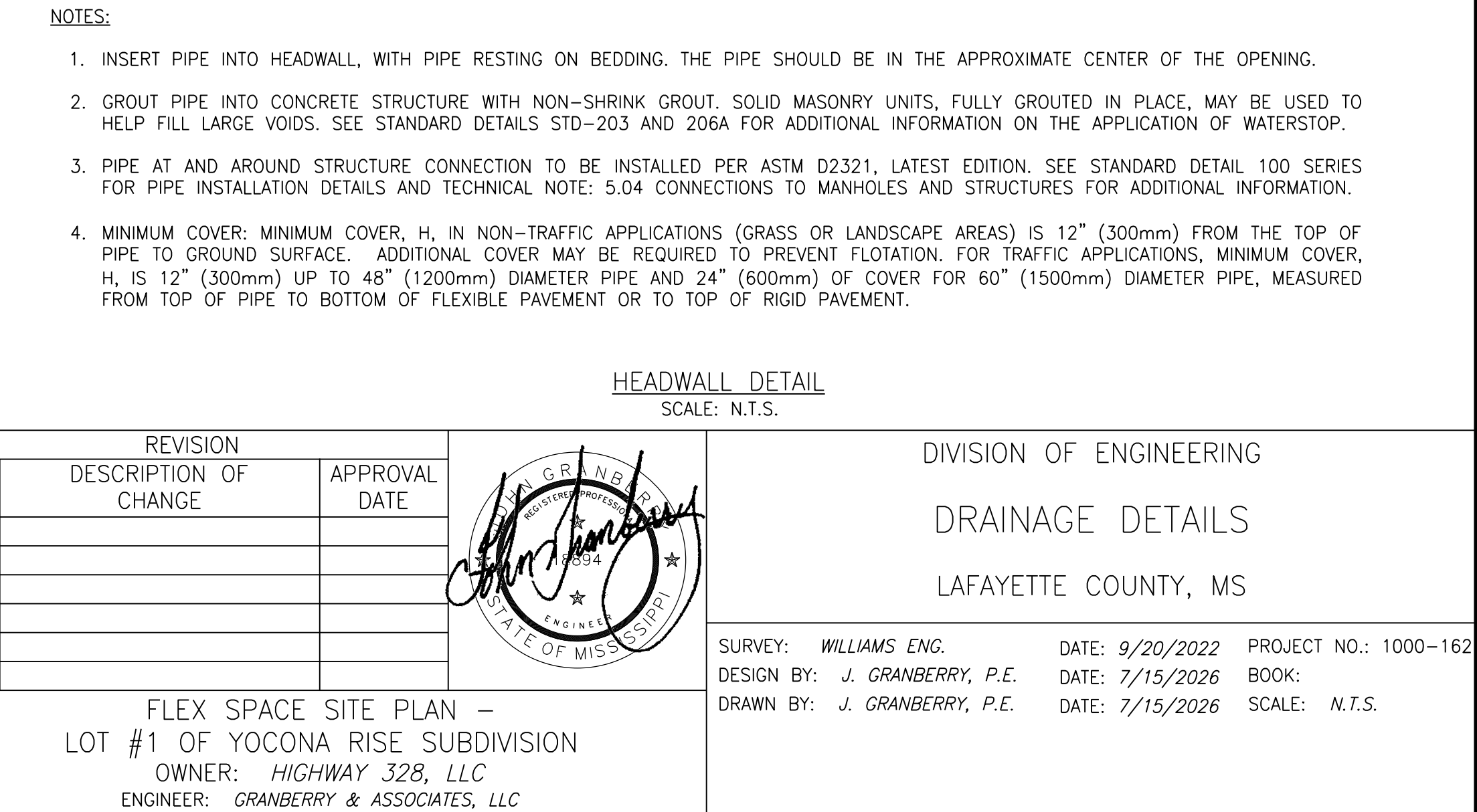


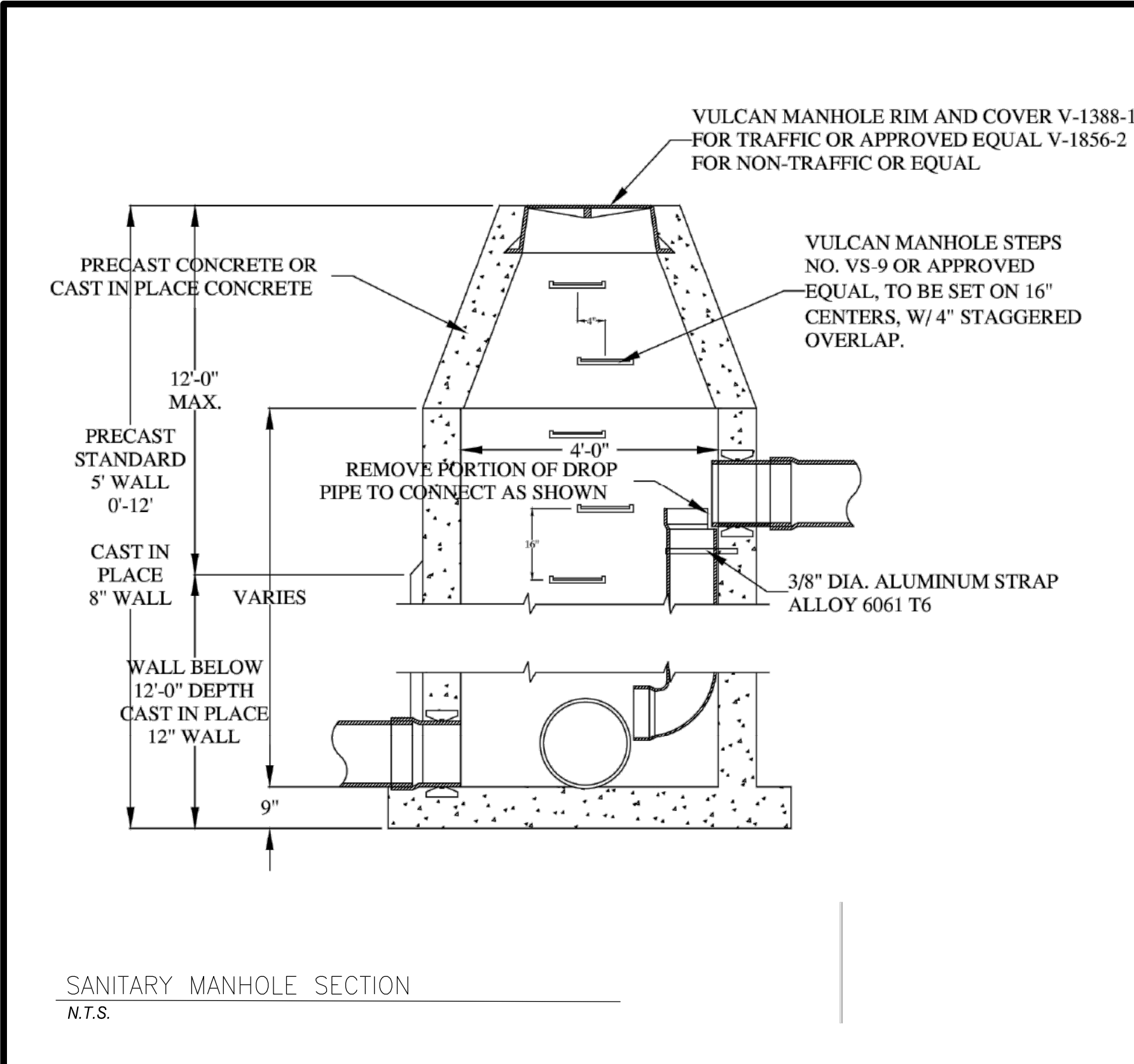
HDPE PIPE

1. BEDDING: 4" CLEAN SAND COMPACTED TO 90% STANDARD PROCTOR.
2. HAUNCHING: CLEAN SAND HAND WORKED AROUND PIPE AND COMPACTED TO SPRINGLINE OF PIPE. COMPACT TO 90% STANDARD PROCTOR.
3. INITIAL BACKFILL: NATIVE MATERIAL PLACED & COMPACTED IN 8" LIFTS TO 12" ABOVE CROWN OF PIPE. COMPACT TO 95% STANDARD PROCTOR, $\pm$ 3% OPTIMUM MOISTURE CONTENT.
4. FINAL BACKFILL: NATIVE MATERIAL PLACED & COMPACTED IN 12" LIFTS TO EX. GROUND SURFACE OR ROAD BED IF UNDER PROPOSED ROAD. COMPACT TO 95% STANDARD PROCTOR, $\pm$ 3% OPTIMUM MOISTURE CONTENT.

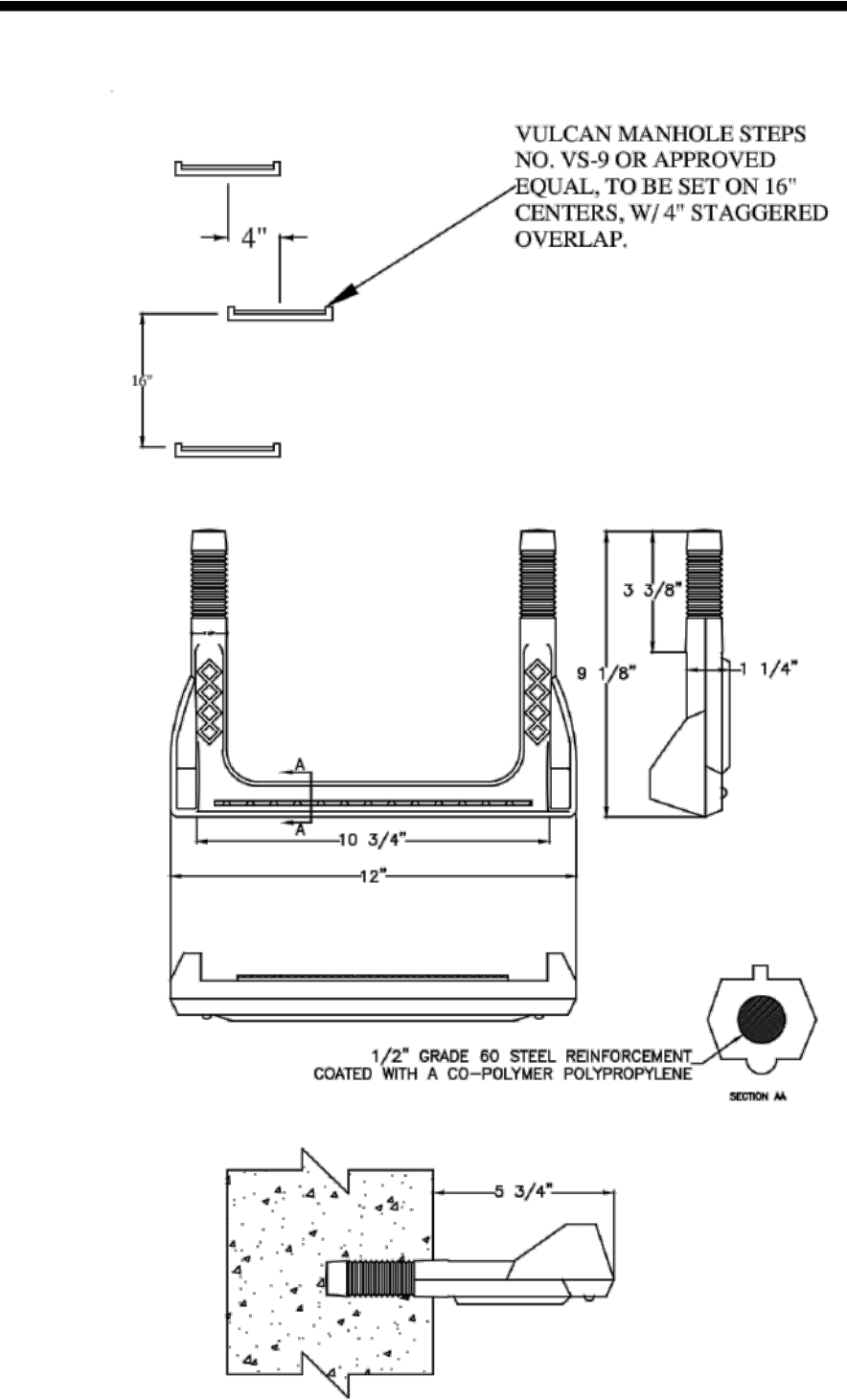
HDPE/HP PIPE BEDDING DETAIL

SCALE: N.T.S.

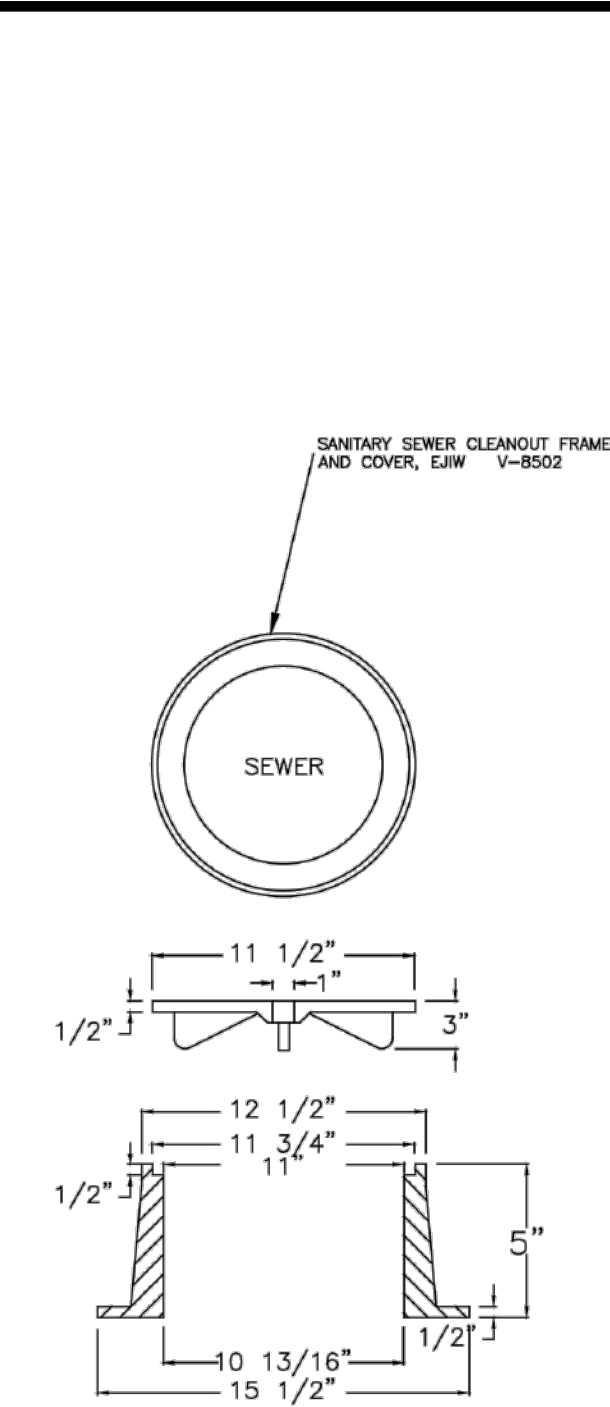




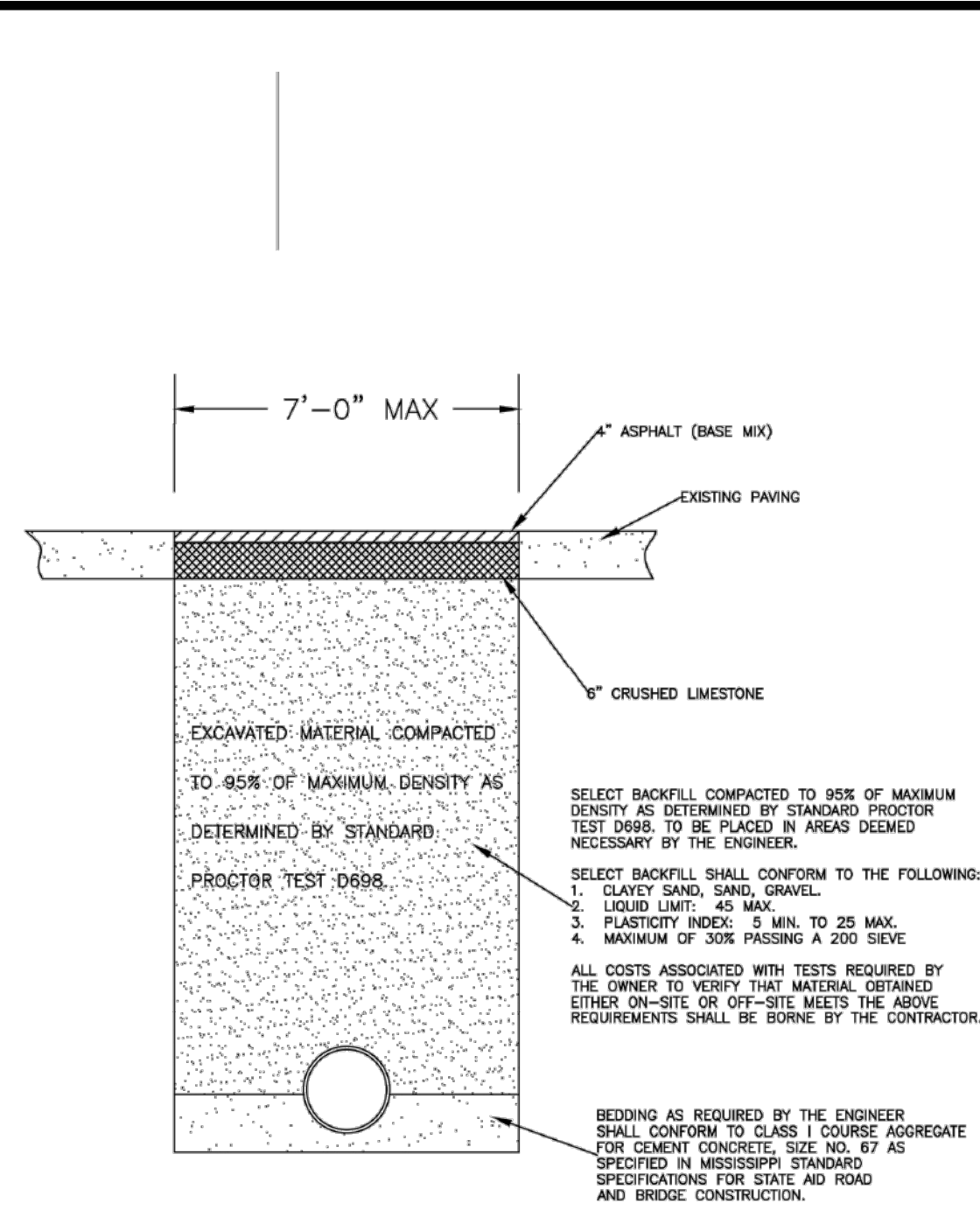
SANITARY MANHOLE SECTION
N.T.S.



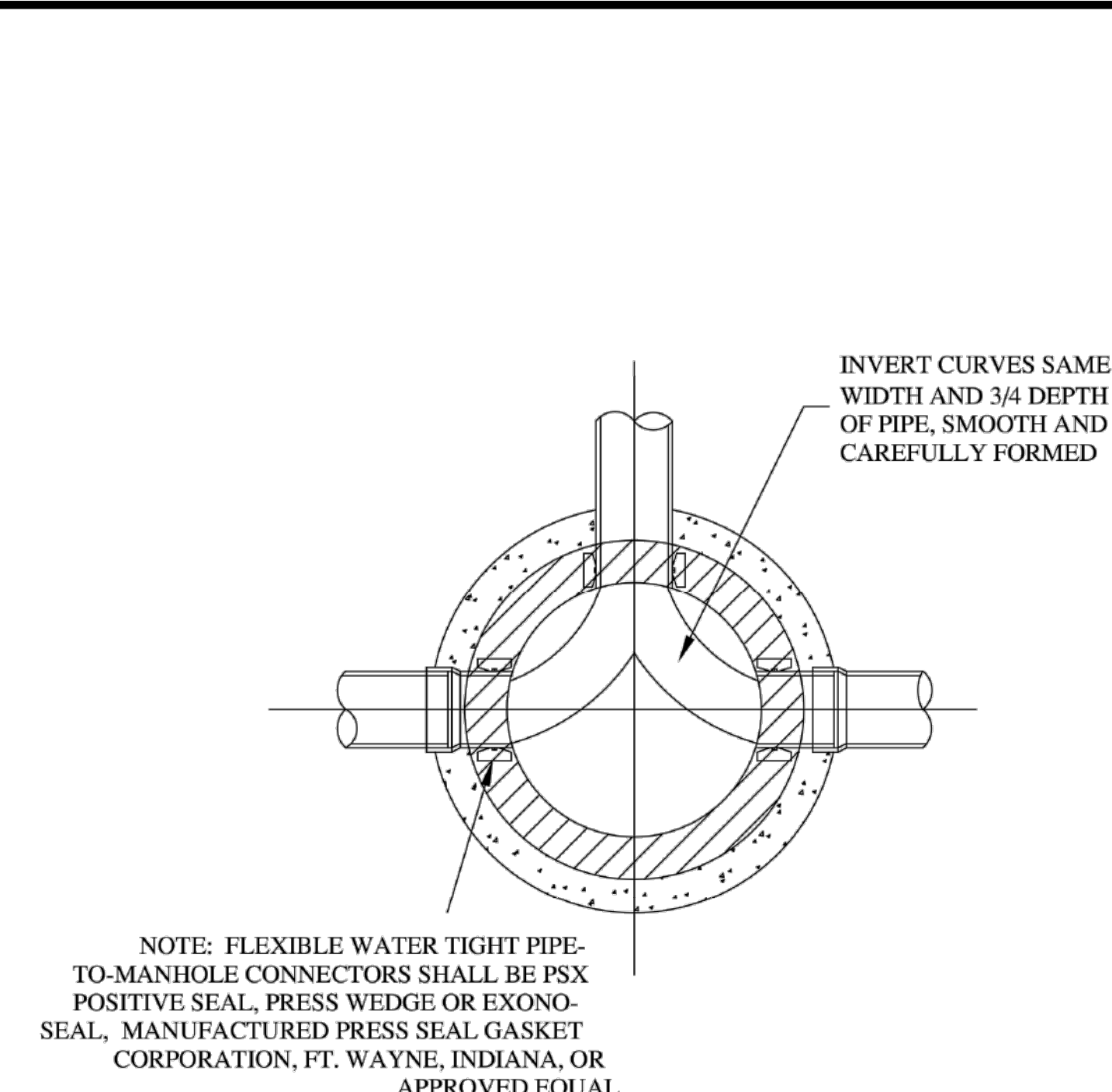
STEP DETAILS
N.T.S.



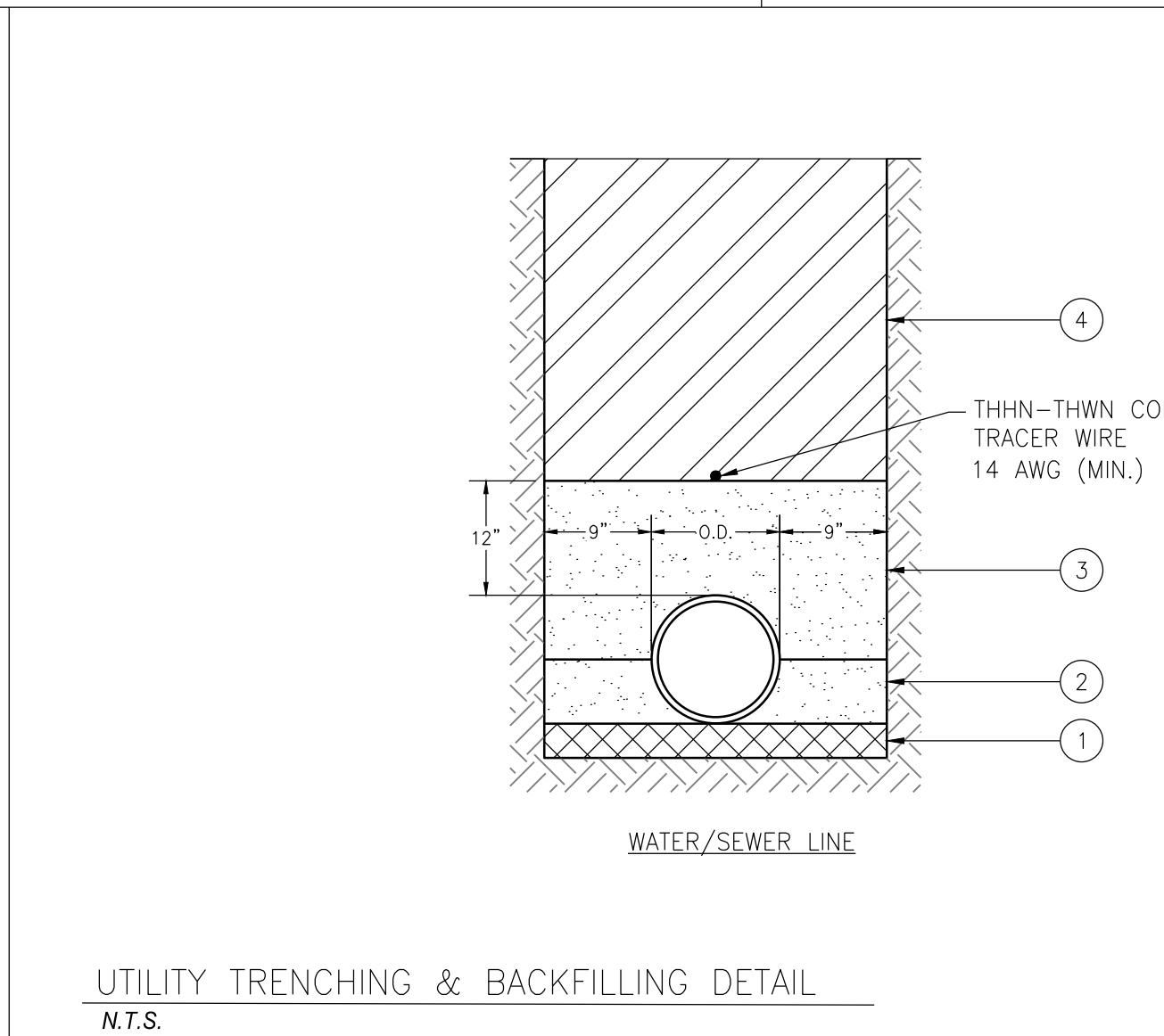
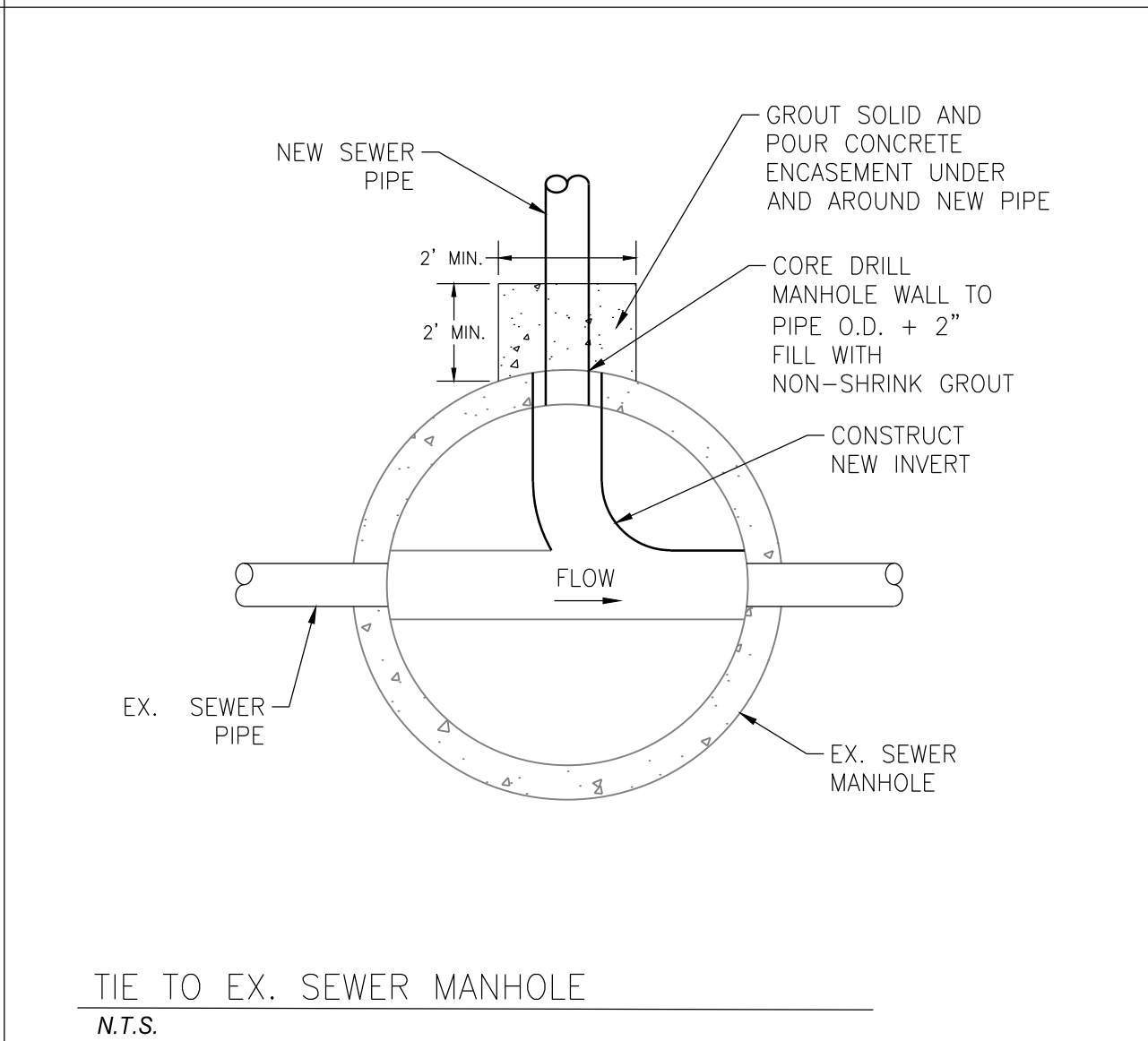
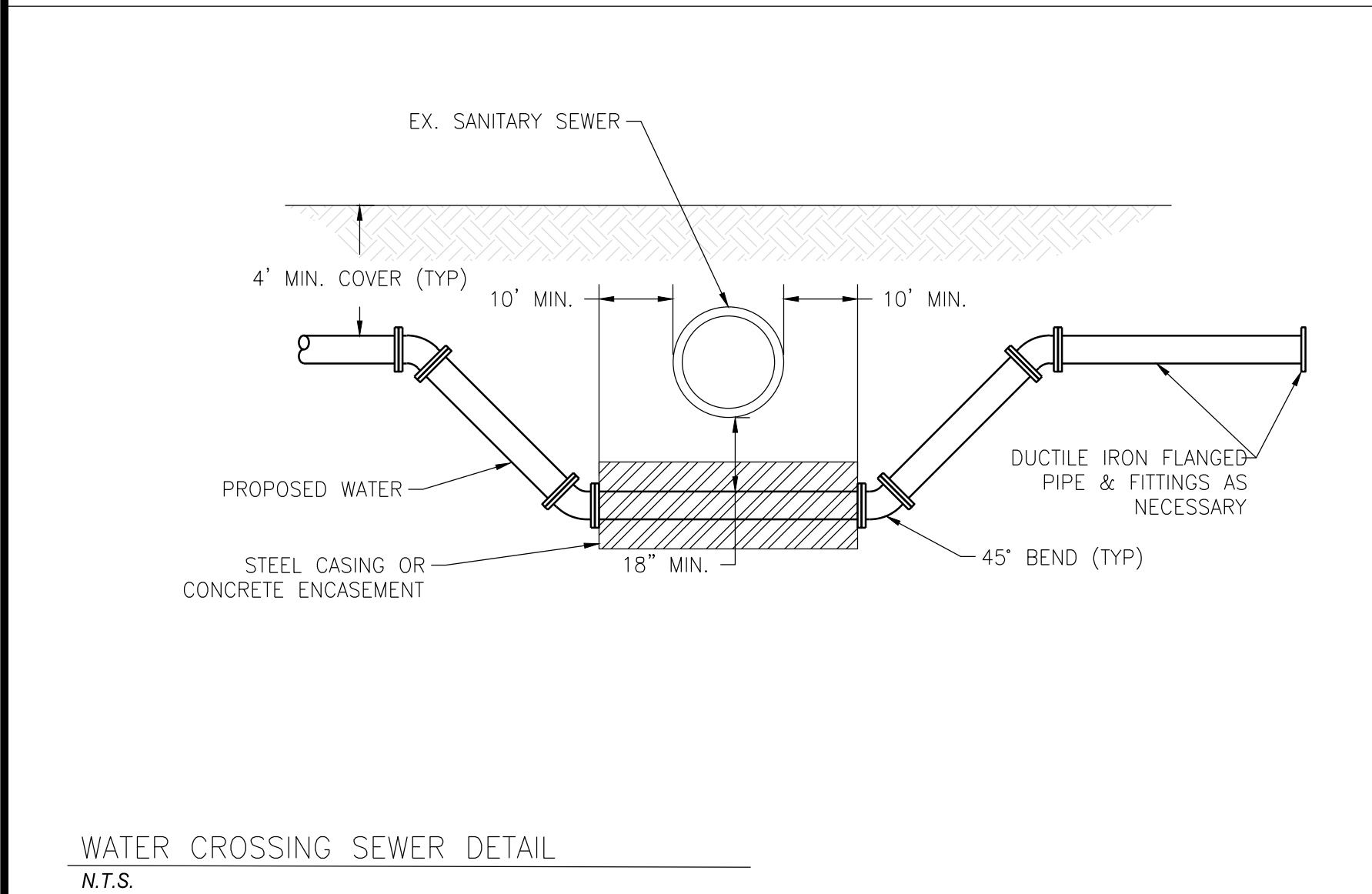
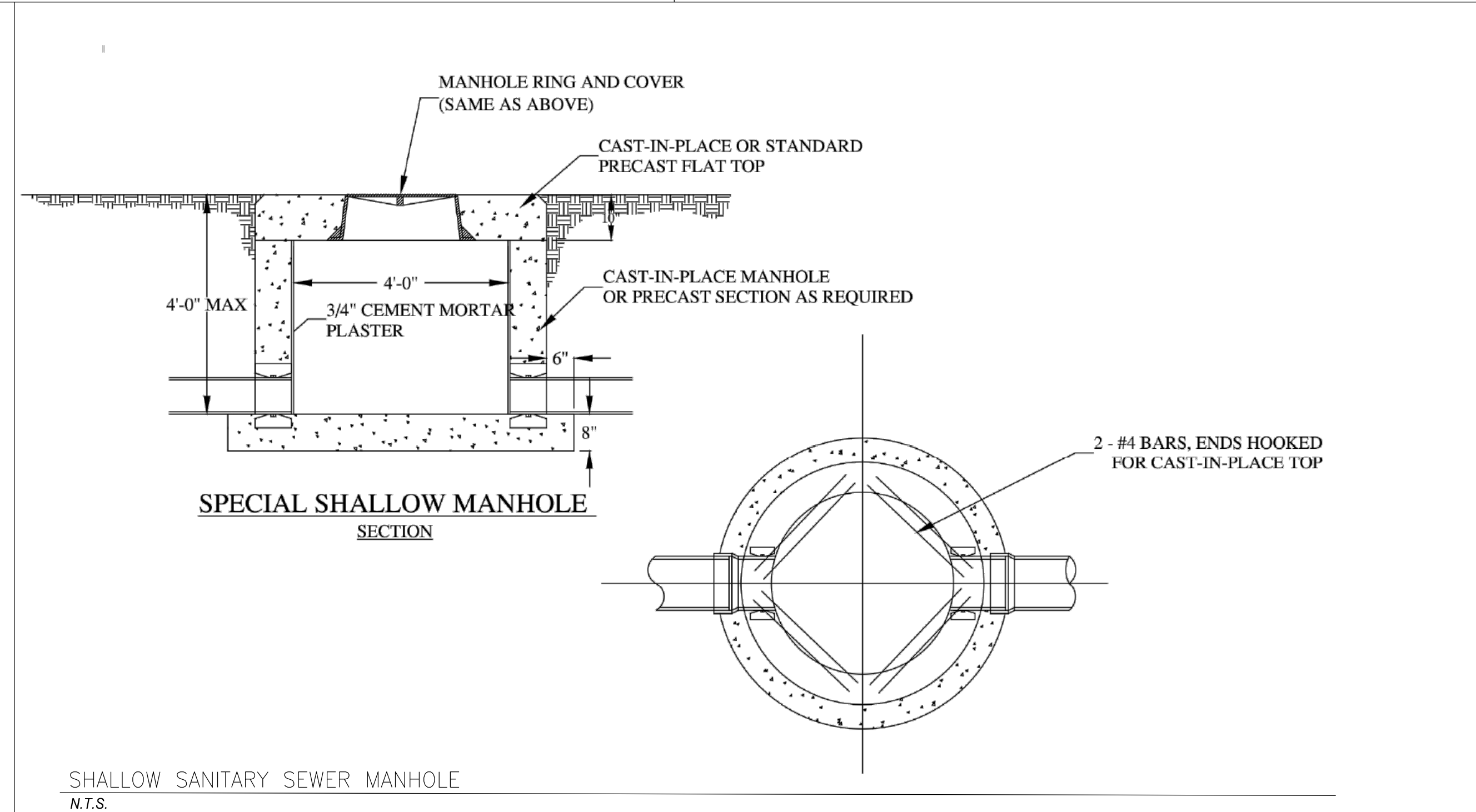
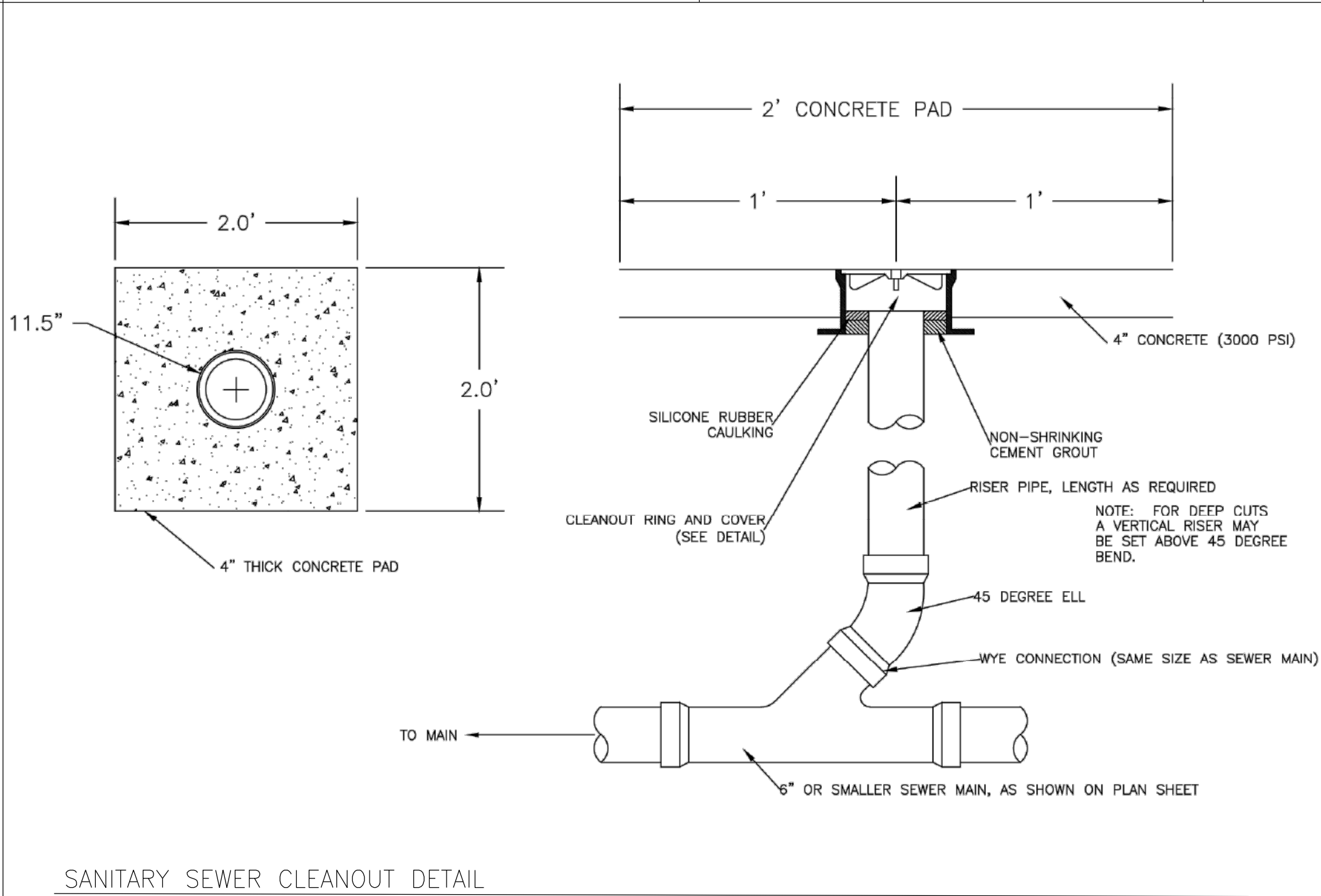
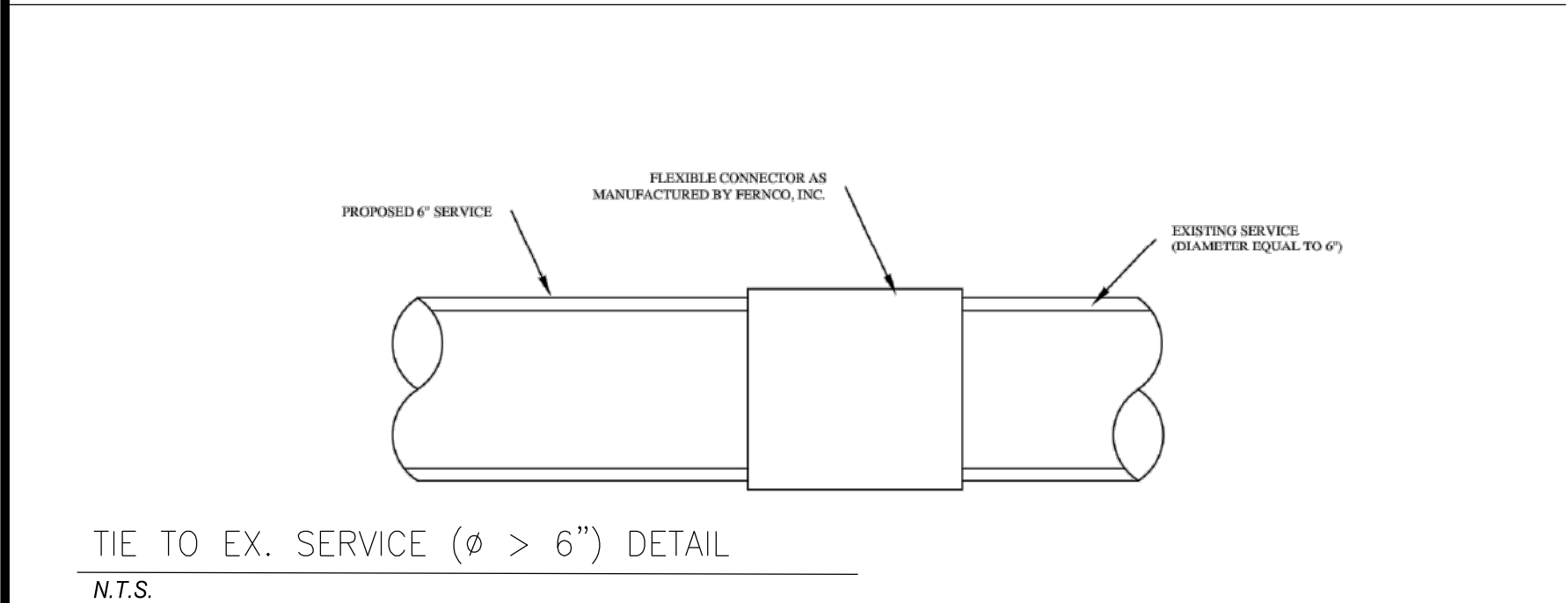
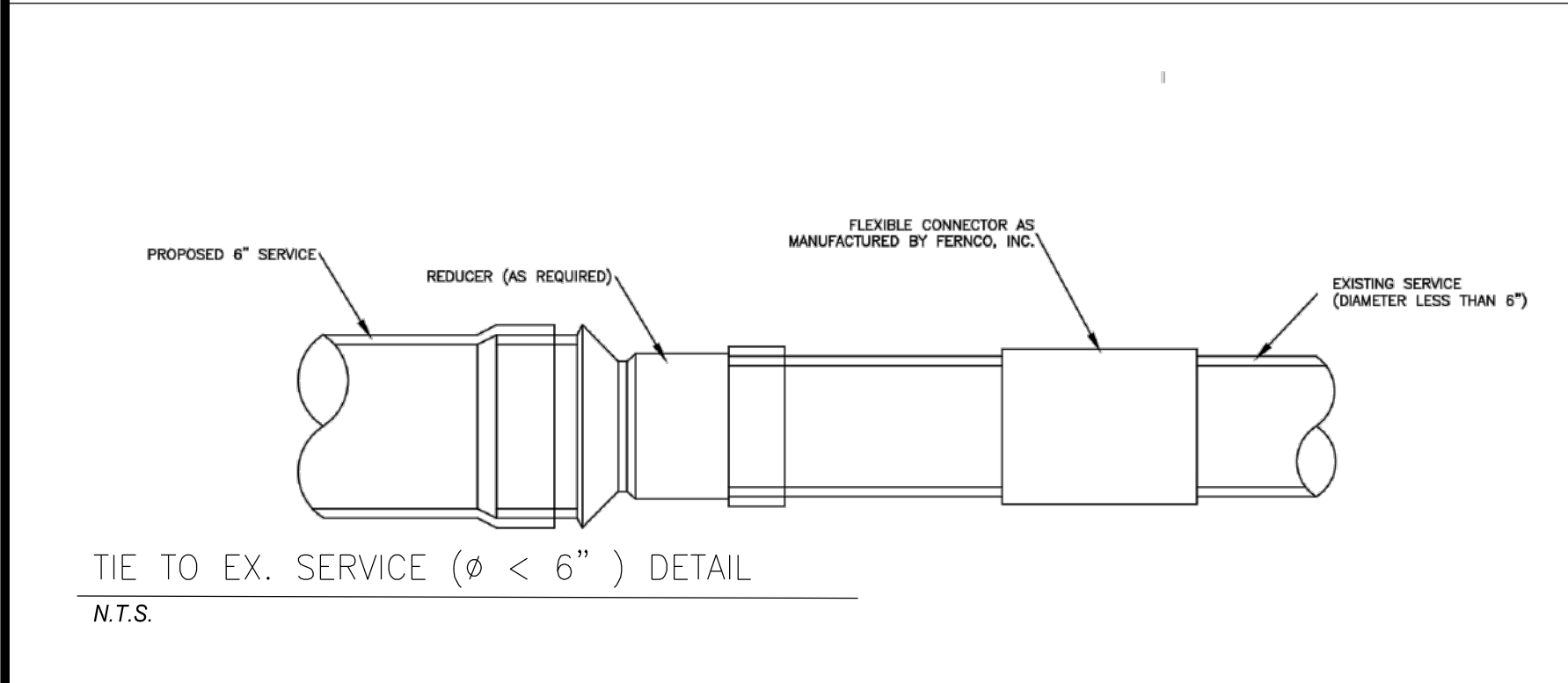
CLEANOUT RING/COVER DETAIL
N.T.S.



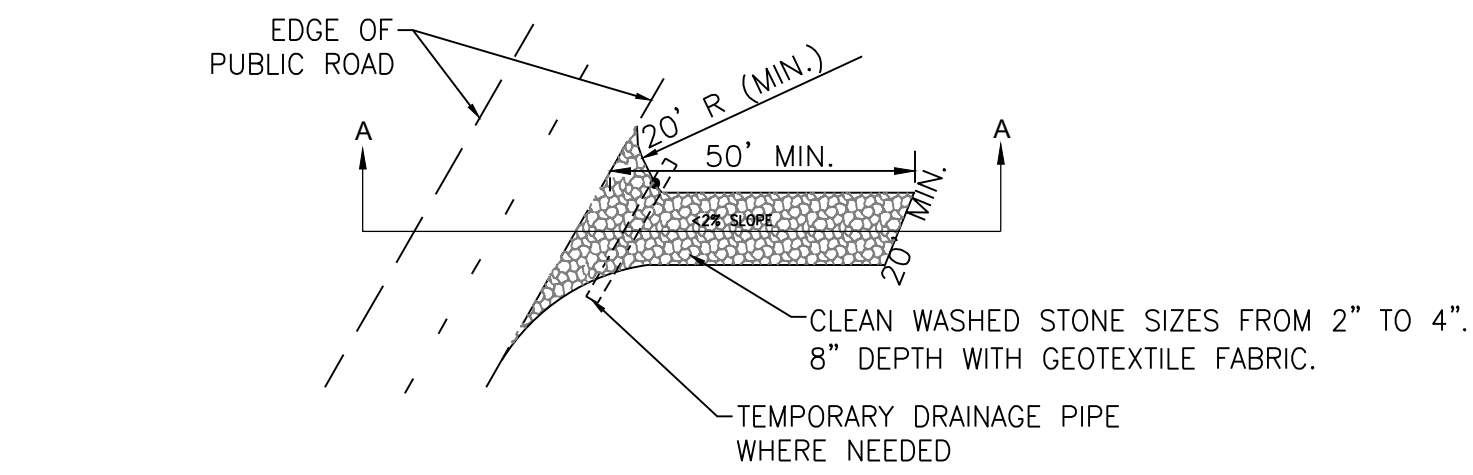
TYPICAL STREET CUT SECTION
N.T.S.



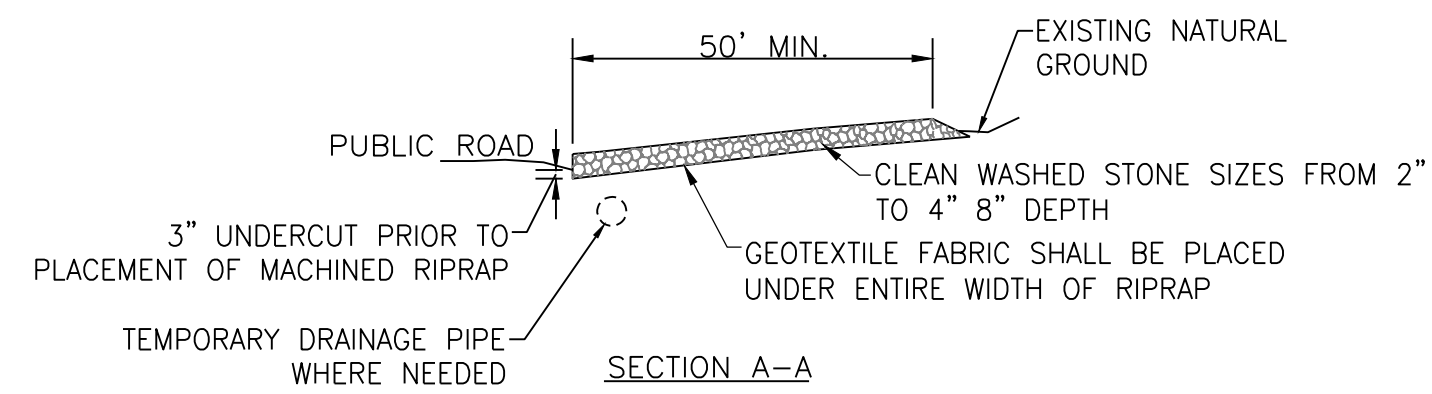
TYPICAL SANITARY MANHOLE
N.T.S.



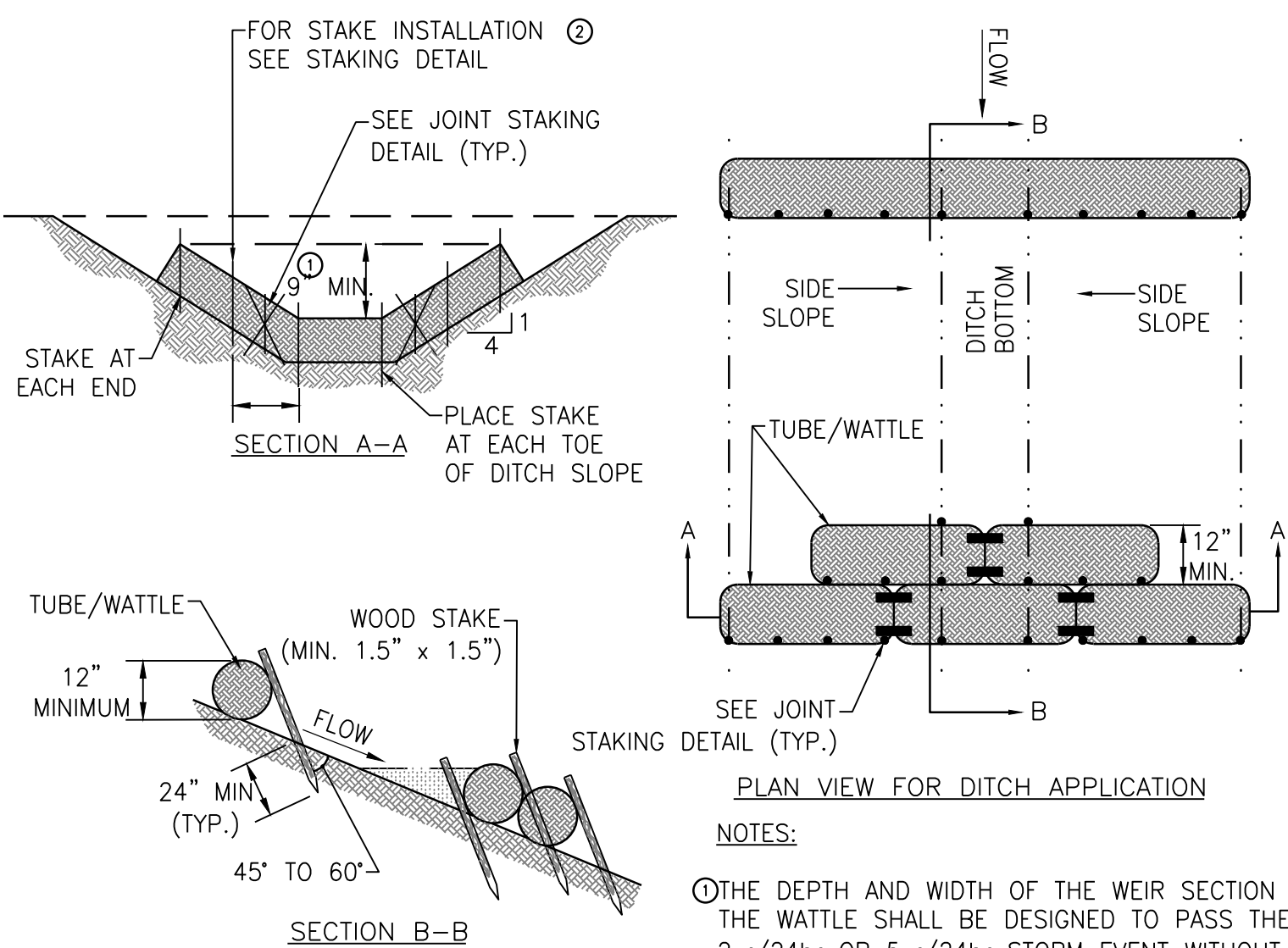
REVISION			DIVISION OF ENGINEERING		
ITEM NO.	DESCRIPTION OF CHANGE	APPROVAL DATE	SEWER DETAILS		
			LAFAYETTE COUNTY, MS		
			SURVEY: WILLIAMS ENG. DATE: 9/20/2022 PROJECT NO.: 1000-162		
			DESIGN BY: J. GRANBERRY, P.E. DATE: 7/15/2026 BOOK:		
			DRAWN BY: J. GRANBERRY, P.E. DATE: 7/15/2026 SCALE: N.T.S.		
FLEX SPACE SITE PLAN - LOT #1 OF YOCONA RISE SUBDIVISION			OWNER: HIGHWAY 328, LLC		
ENGINEER: GRANBERRY & ASSOCIATES, LLC					



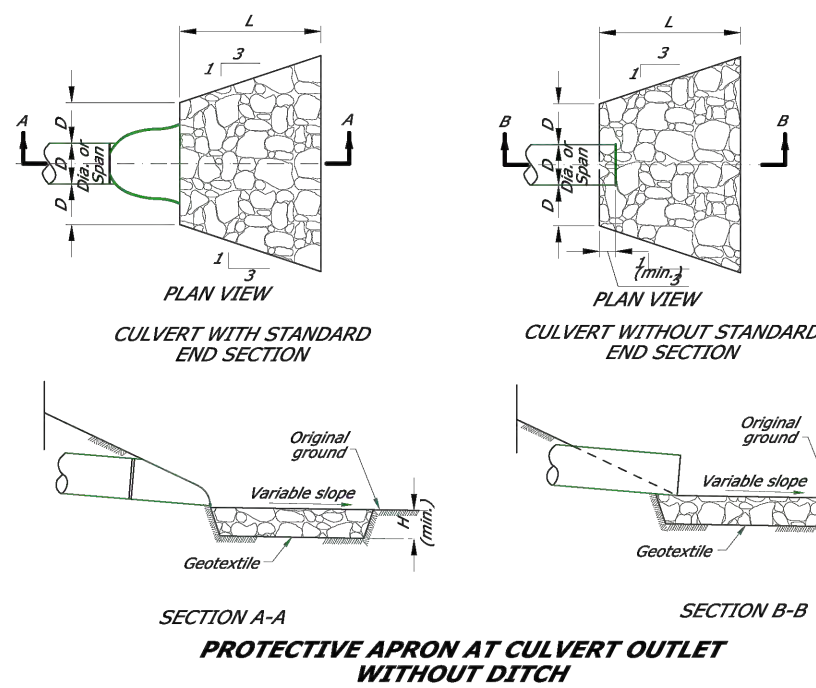
PLAN VIEW OF TEMPORARY CONSTRUCTION ROAD



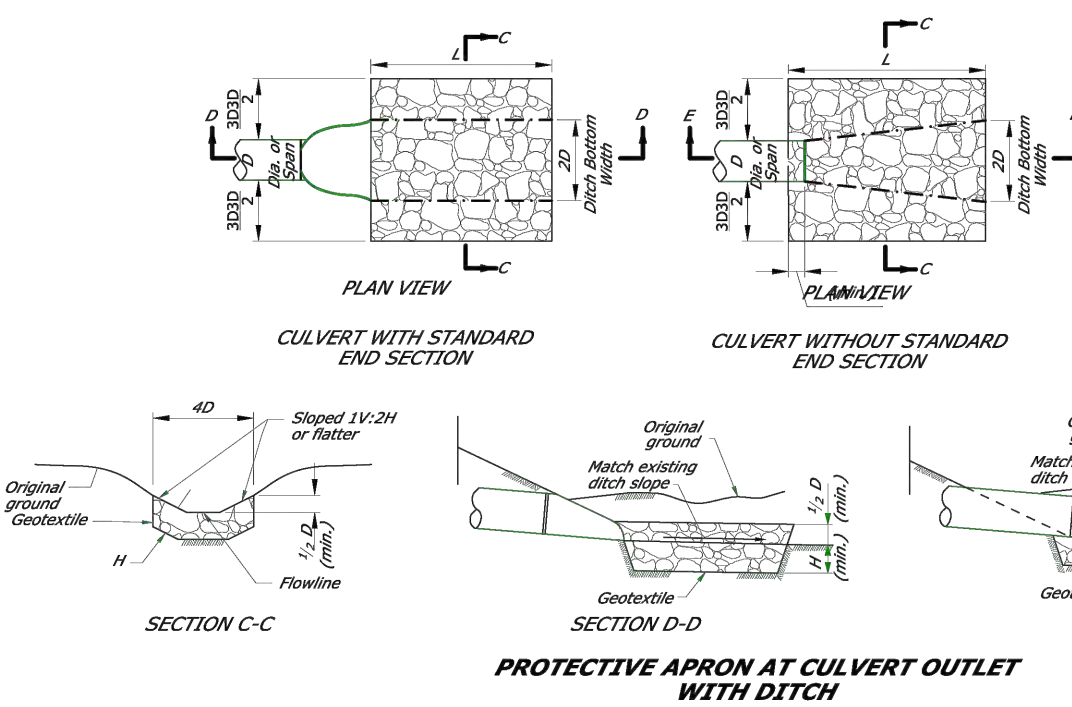
1 CONSTRUCTION ENTRANCE DETAIL
N.T.S.



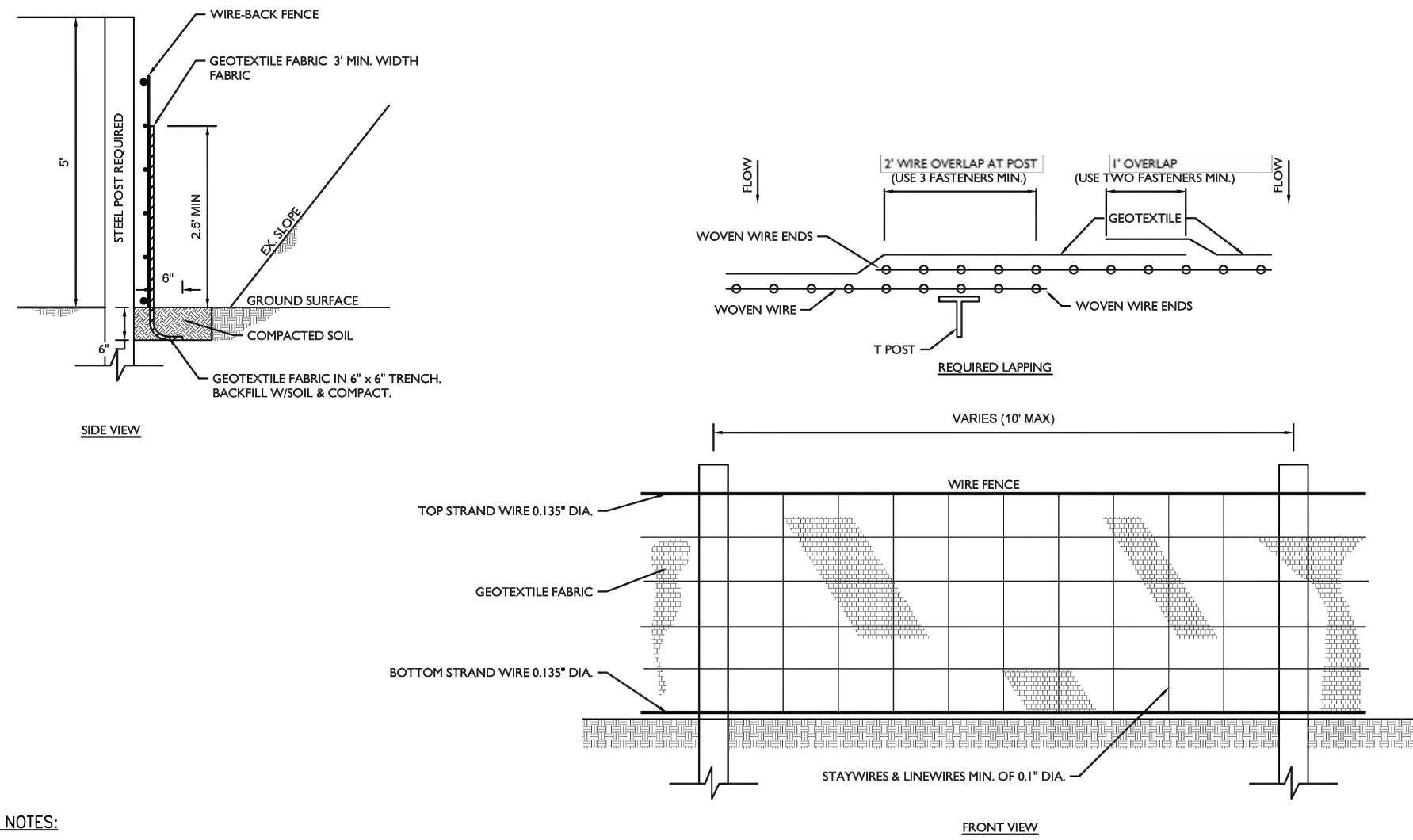
3 ORGANIC FILTER TUBE DETAIL
N.T.S.



OUTLET WITHOUT DITCH PROTECTIVE APRON DIMENSIONS AND ESTIMATED QUANTITIES						
CULVERT SIZE D (inches)	NDOT RIPRAP SIZE POUNDS (weight of mass)	LENGTH OF APRON L (feet)	DEPTH OF APRON H (feet)	ESTIMATED APPROXIMATE QUANTITY (CY)	ESTIMATED APPROXIMATE QUANTITY (CY)	ESTIMATED APPROXIMATE QUANTITY (CY)
12	200#	4	1.5	1.0	5	5
18	200#	6	1.5	2.2	9	9
24	200#	8	1.5	3.9	14	14
30	300#	12.5	2	10.9	28	28
36	300#	16	2	15.6	37	37
42	500#	21	2.5	24.1	63	63
48	500#	24	2.5	24.5	79	79
12	200#	6	1.5	1.7	8	8
18	200#	8	1.5	3.2	12	12
24	200#	10	1.5	5.2	17	17
30	300#	14.5	2	12.3	33	33
36	300#	17	2	18.5	43	43
42	500#	23	2.5	28.7	70	70
48	500#	26	2.5	29.8	87	87

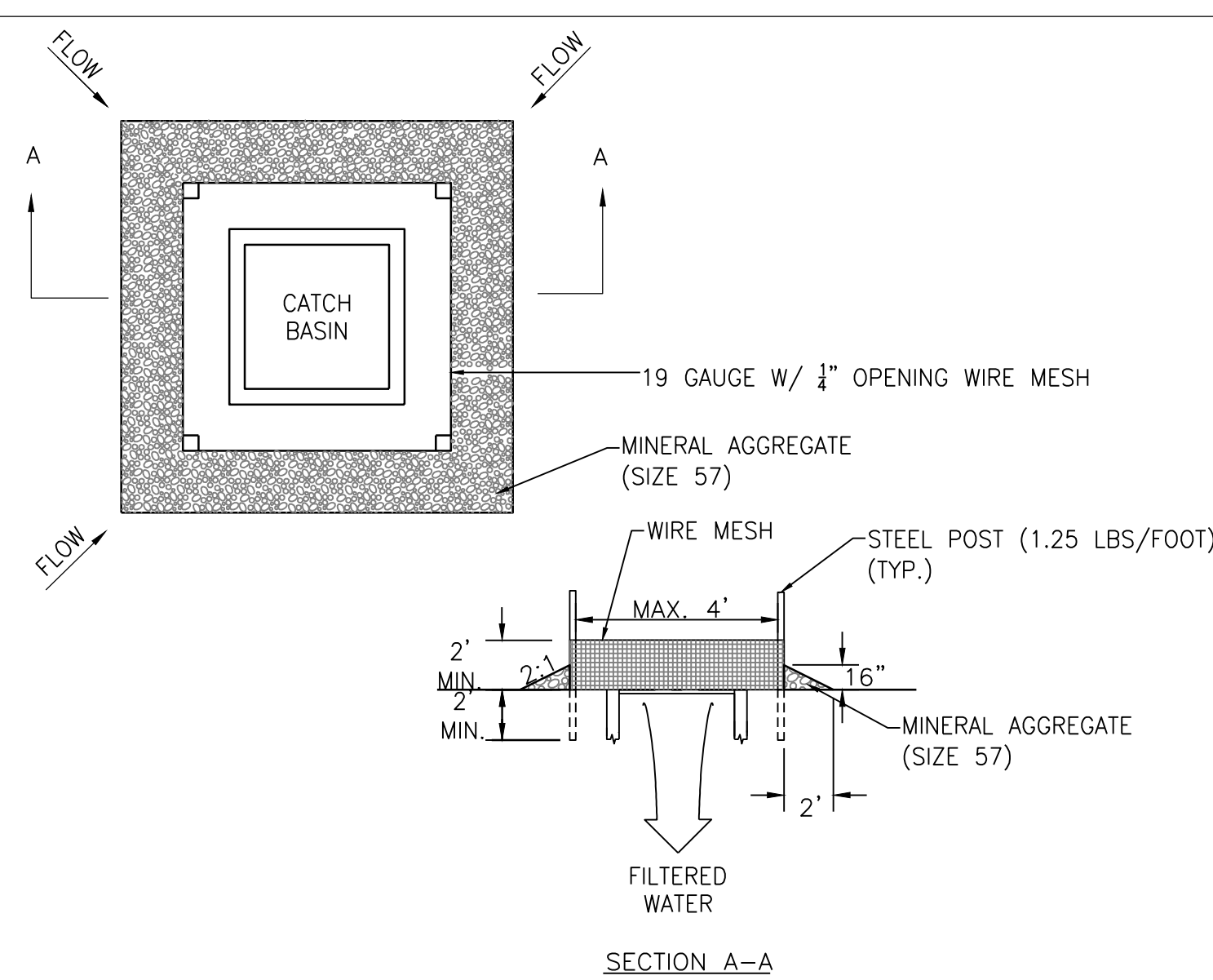


7 OUTLET PROTECTION DETAIL
N.T.S.



- GENERAL NOTES:
1. WIRE SHALL BE MINIMUM OF 32" IN WIDTH SHALL HAVE A MINIMUM OF 6 LINE WIRES WITH 12" STAY SPACING.
 2. GEOTEXTILE FABRIC SHALL BE A MINIMUM OF 36" IN WIDTH AND SHALL BE FASTENED ADEQUATELY TO THE WIRE AS DIRECTED.
 3. STEEL POST SHALL BE 5'-0" IN HEIGHT AND OF THE SELF-FASTENER ANGLE STEEL TYPE. WIRE FENCE SHALL BE FASTENED TO STEEL POST WITH NOT LESS THAN 9 GAGE WIRE STAPLES 1" LONG.
 4. GEOTEXTILE FABRIC MEETING THE TYPE II MATERIAL REQUIREMENTS AND INSTALLED ACCORDING TO SPECIFICATIONS MAY BE USED WITHOUT WIRE FENCE.

2 SILT FENCE DETAIL
N.T.S.

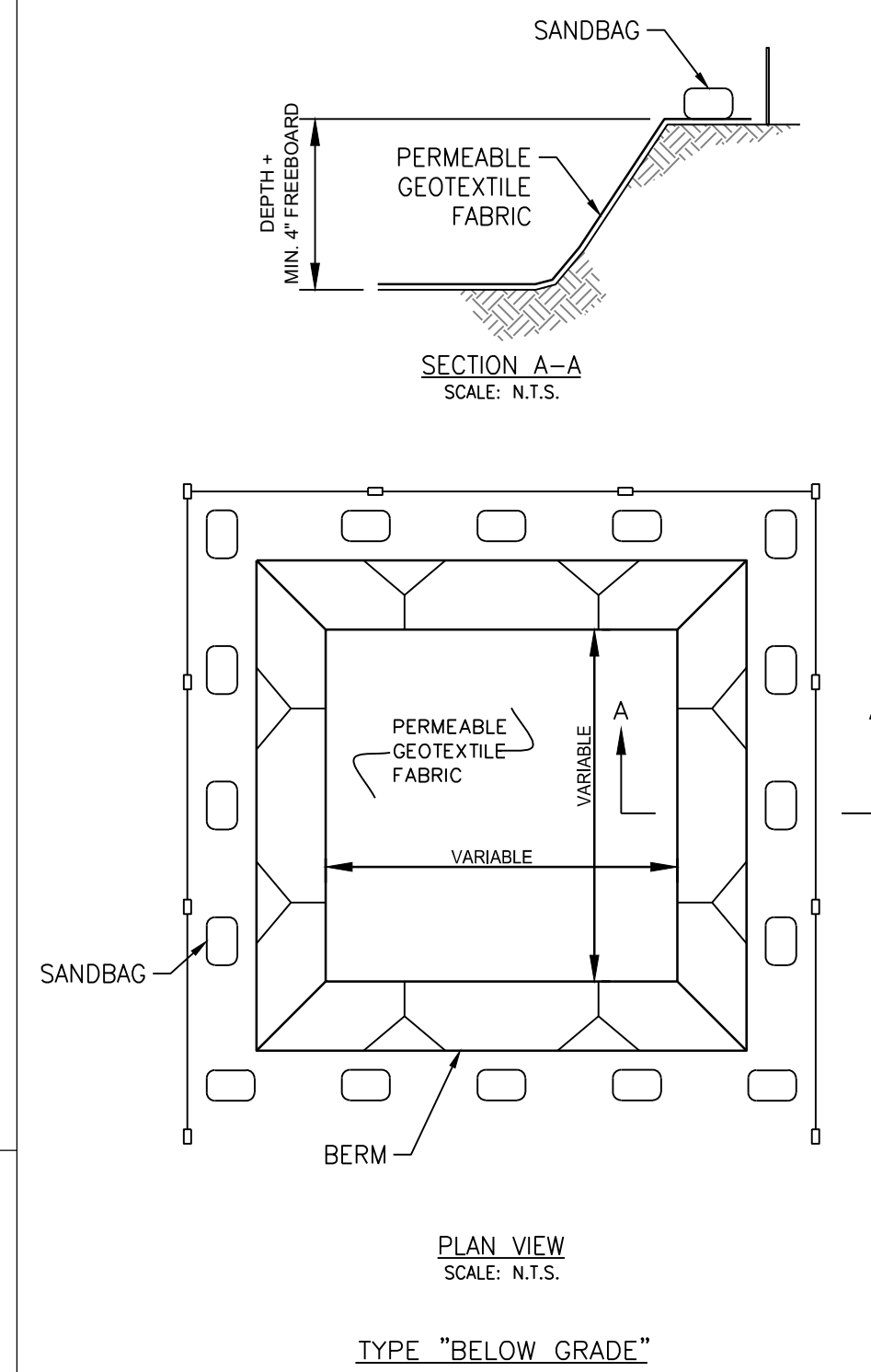


4 INLET PROTECTION DETAIL
N.T.S.

OUTLET WITH DITCH PROTECTIVE APRON DIMENSIONS AND ESTIMATED QUANTITIES						
CULVERT SIZE (inches)	NDOT RIPRAP SIZE POUNDS (weight of mass)	LENGTH OF APRON L (feet)	DEPTH OF APRON H (feet)	ESTIMATED APPROXIMATE QUANTITY (CY)	ESTIMATED APPROXIMATE QUANTITY (CY)	ESTIMATED APPROXIMATE QUANTITY (CY)
12	200#	4	1.5	0.9	5	5
18	200#	6	1.5	2	8	8
24	200#	8	1.5	3.6	13	13
30	300#	12.5	2	9.9	24	24
36	300#	15	2	13.4	32	32
42	500#	21	2.5	21.3	53	53
48	500#	24	2.5	25.6	65	65
12	200#	6	1.5	1.4	6	6
18	200#	8	1.5	2.7	10	10
24	200#	10	1.5	4.5	15	15
30	300#	14.5	2	10.6	27	27
36	300#	17	2	15.2	36	36
42	500#	23	2.5	29.9	57	57
48	500#	26	2.5	36.6	70	70

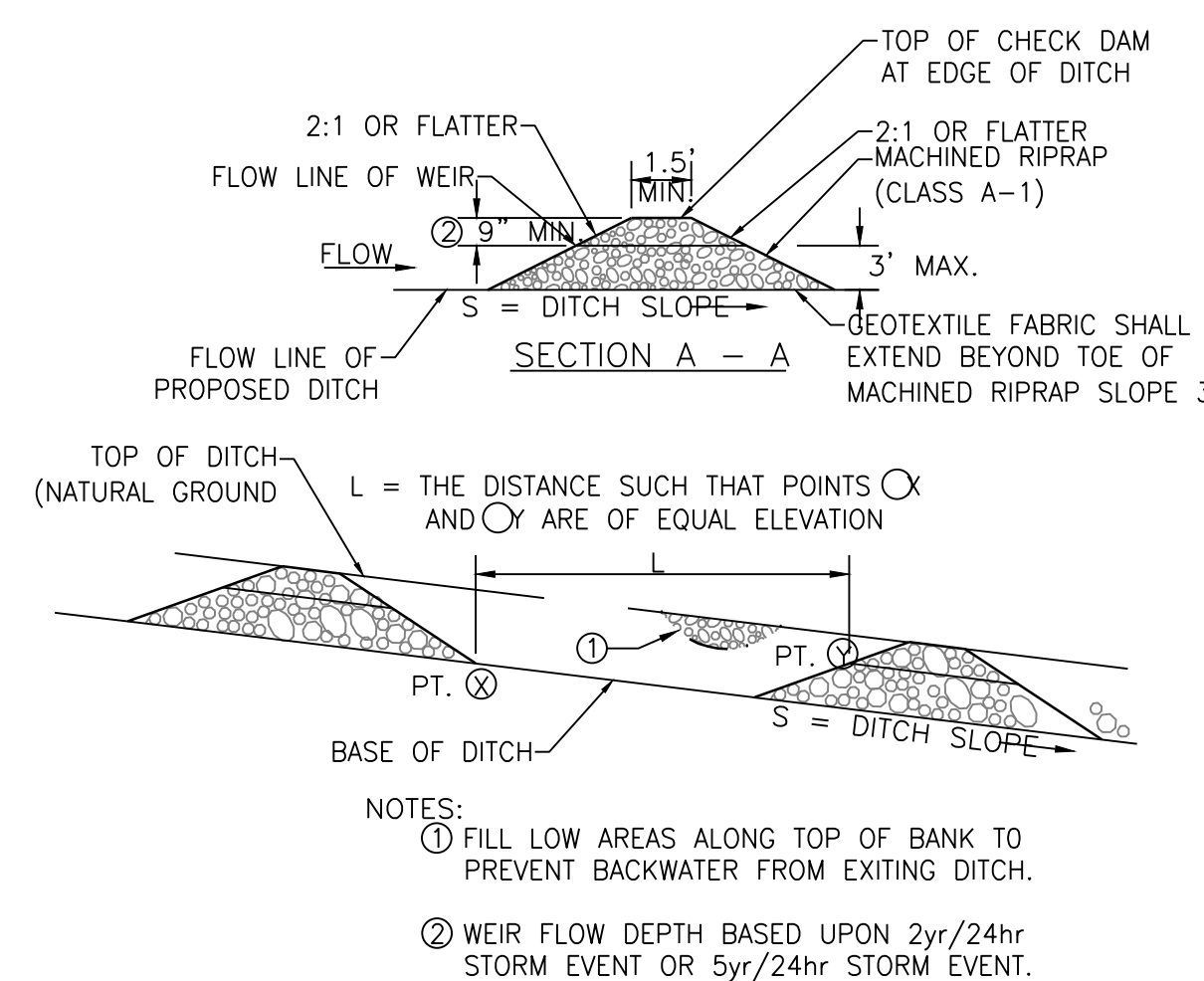
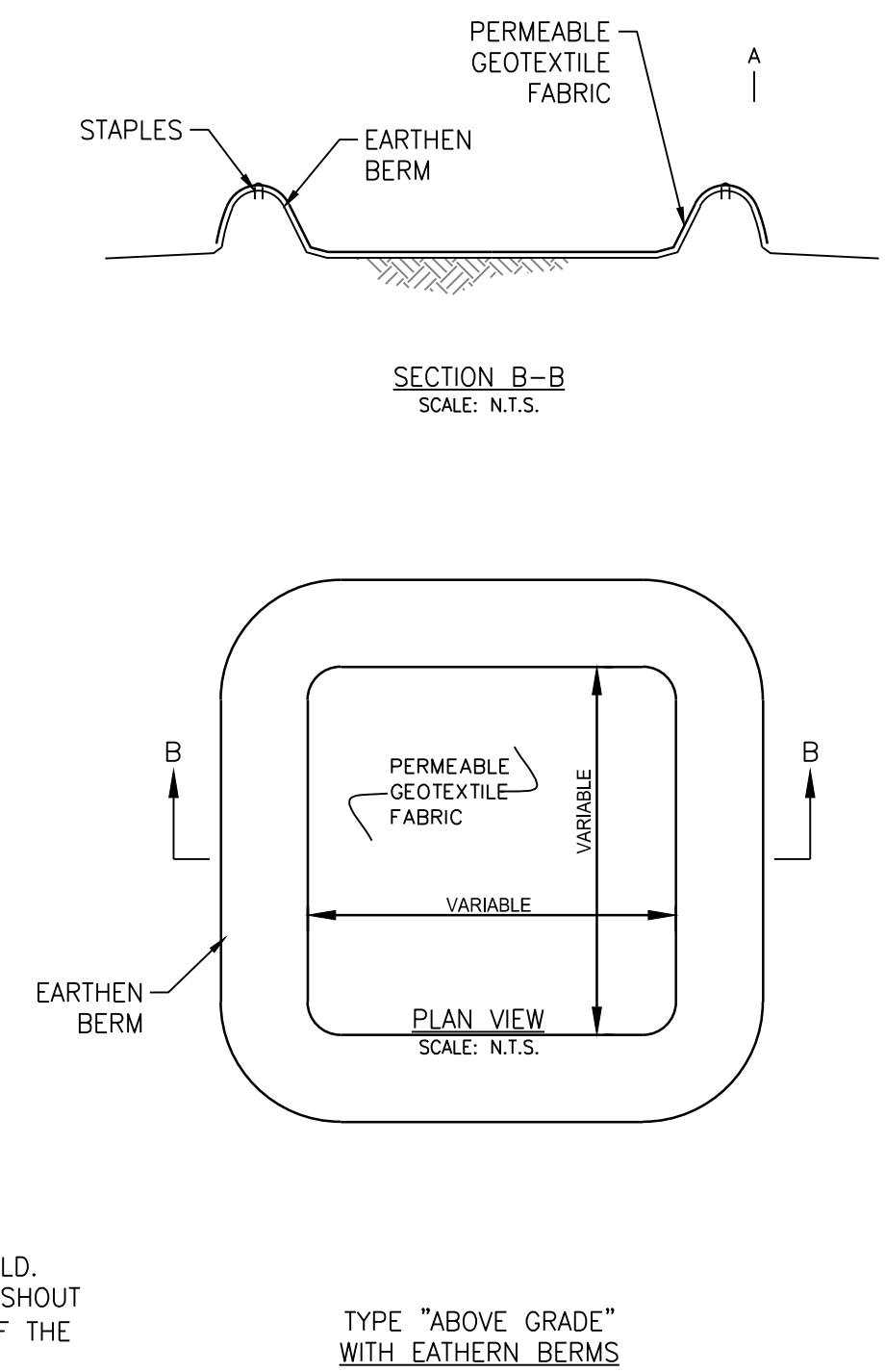
NOTE:
1. Use for aprons serving culverts with slopes of less than 10%.

NO SCALE

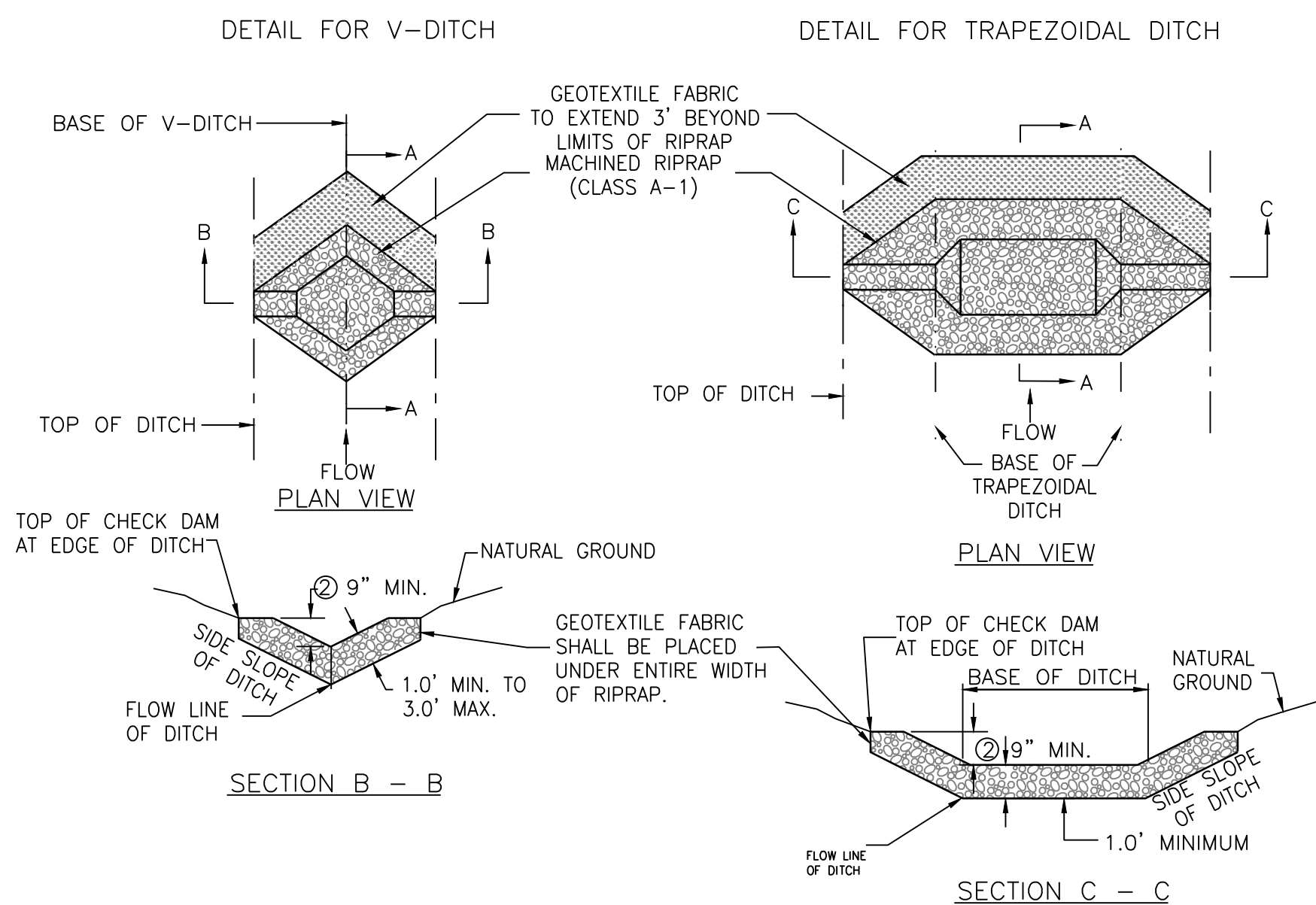


6 CONCRETE WASHOUT DETAIL
N.T.S.

- NOTES:
1. ACTUAL LAYOUT DETERMINED IN THE FIELD.
 2. SIGNAGE IDENTIFYING THE CONCRETE WASHOUT AREA SHALL BE INSTALLED WITHIN 5' OF THE WASHOUT FACILITY.

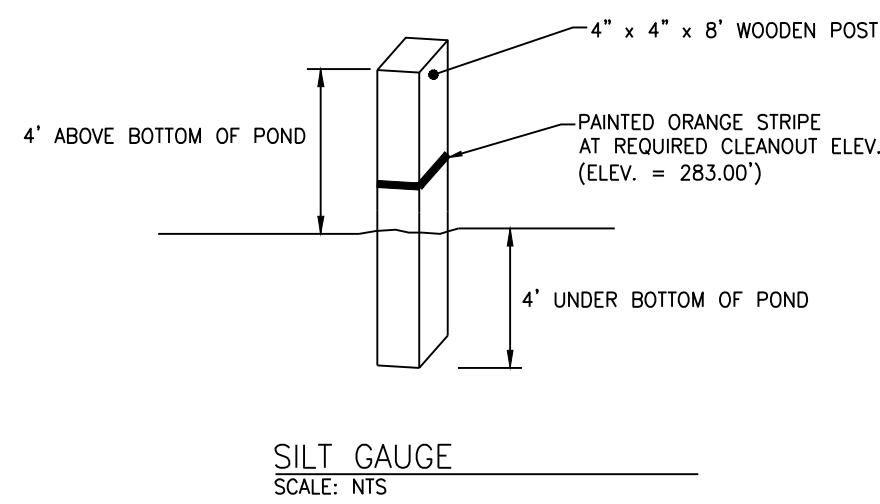
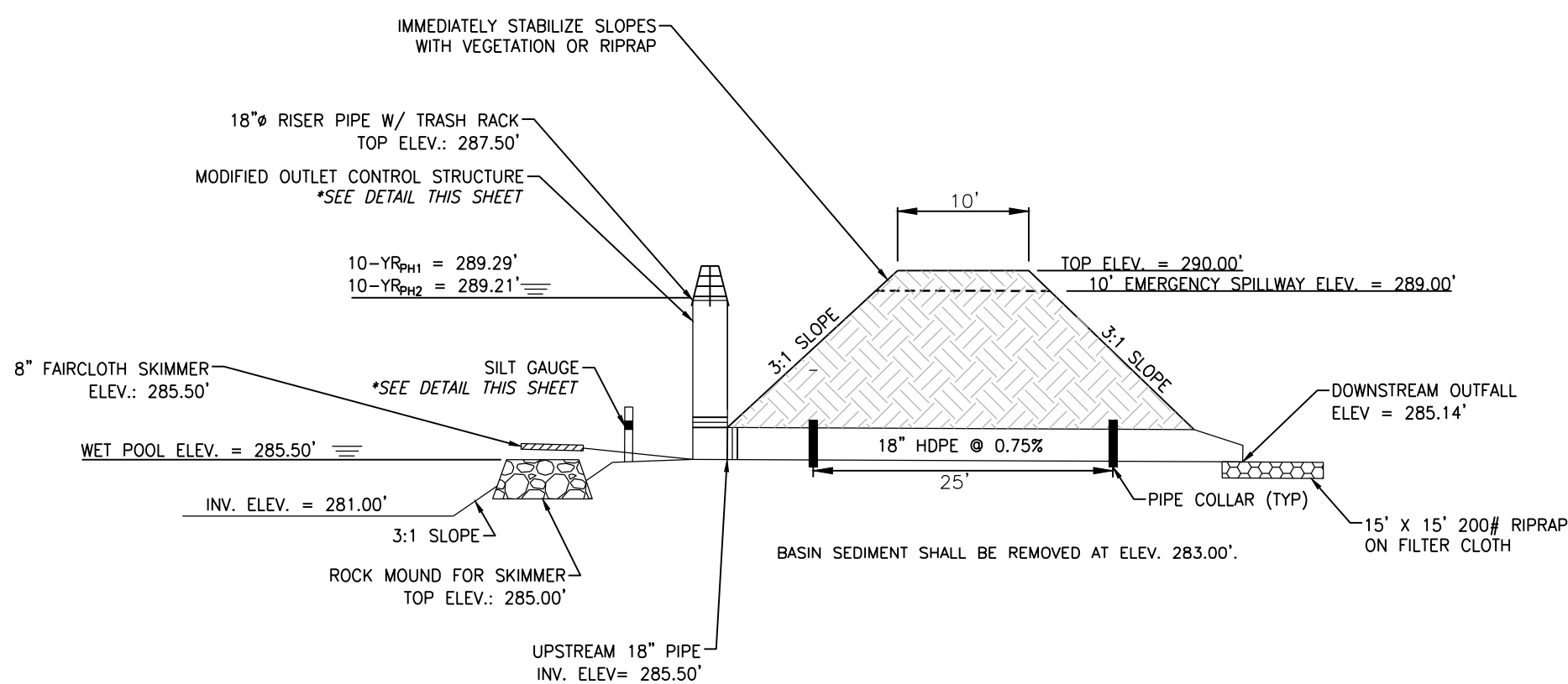
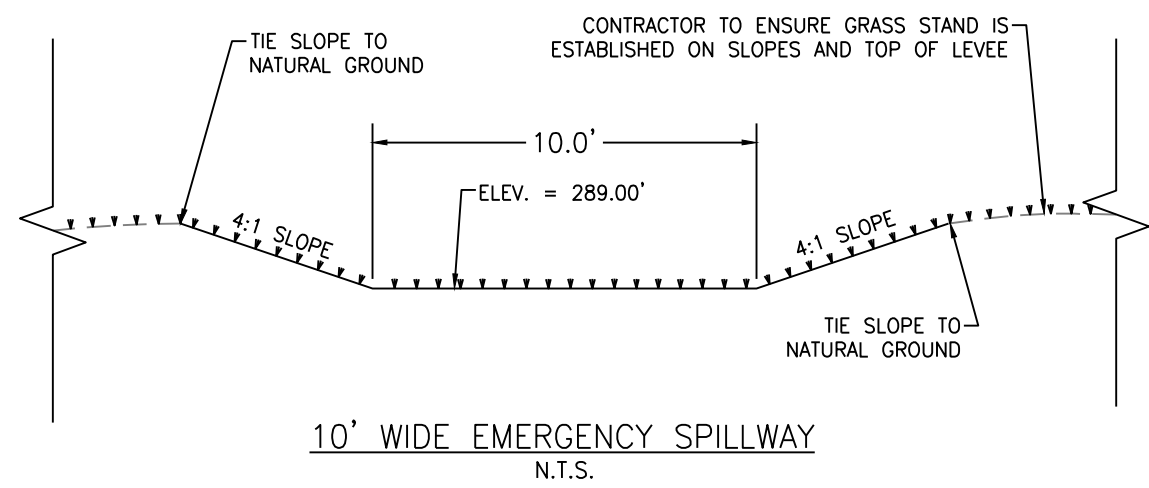


DETAIL FOR SPACING BETWEEN CHECK DAMS



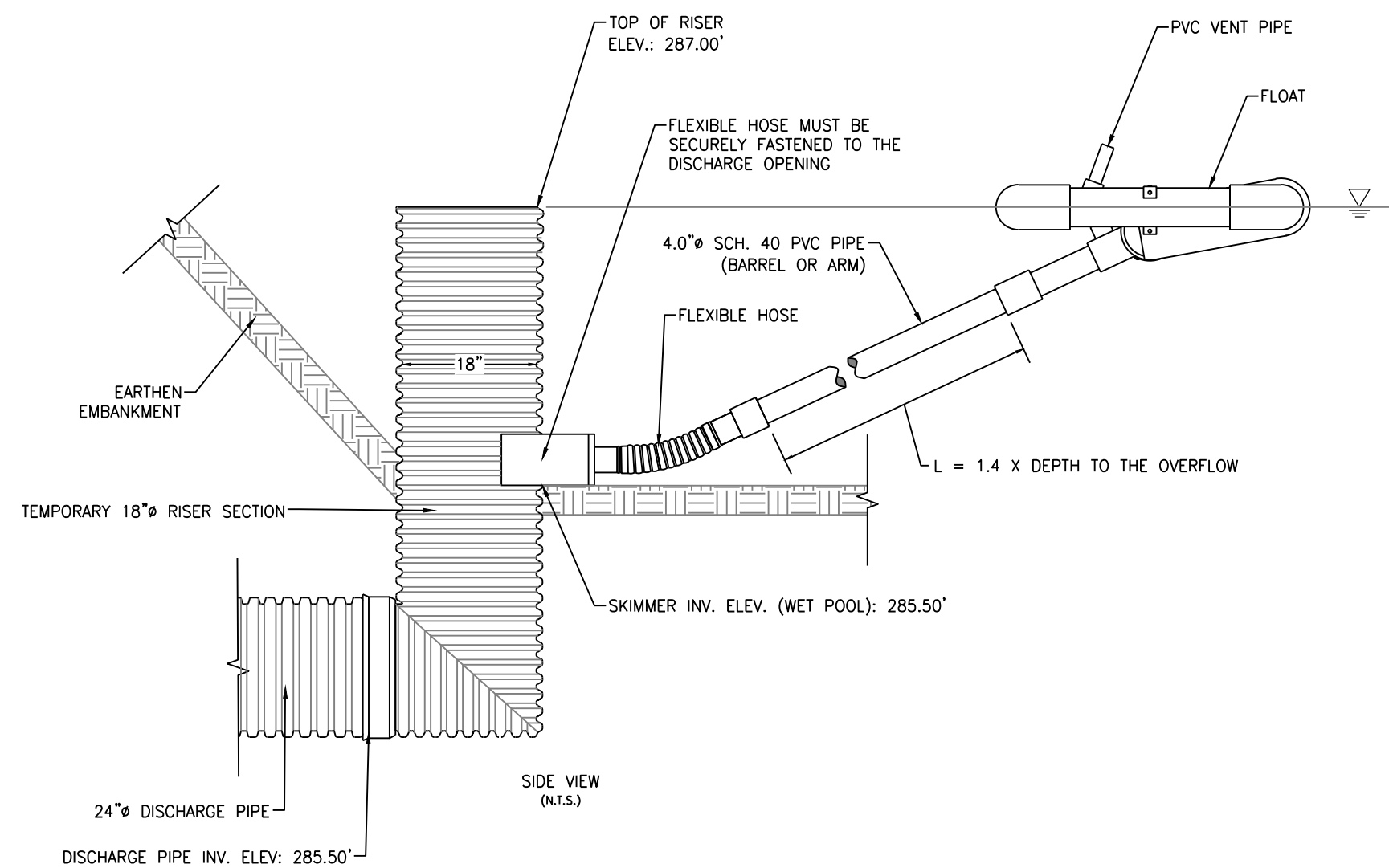
6 ROCK CHECK DAM
N.T.S.

REVISION			DIVISION OF ENGINEERING		
ITEM NO.	DESCRIPTION OF CHANGE	APPROVAL DATE	EROSION CONTROL DETAILS		
			LAFAYETTE COUNTY, MS		
FLEX SPACE SITE PLAN - LOT #1 OF YOCONA RISE SUBDIVISION OWNER: HIGHWAY 328, LLC ENGINEER: GRANBERRY & ASSOCIATES, LLC			SURVEY: WILLIAMS ENG. DESIGN BY: J. GRANBERRY, P.E. DRAWN BY: J. GRANBERRY, P.E.		
			DATE: 9/20/2022 DATE: 7/15/2026 DATE: 7/15/2026		
			PROJECT NO.: 1000-162 BOOK: SCALE: N.T.S.		



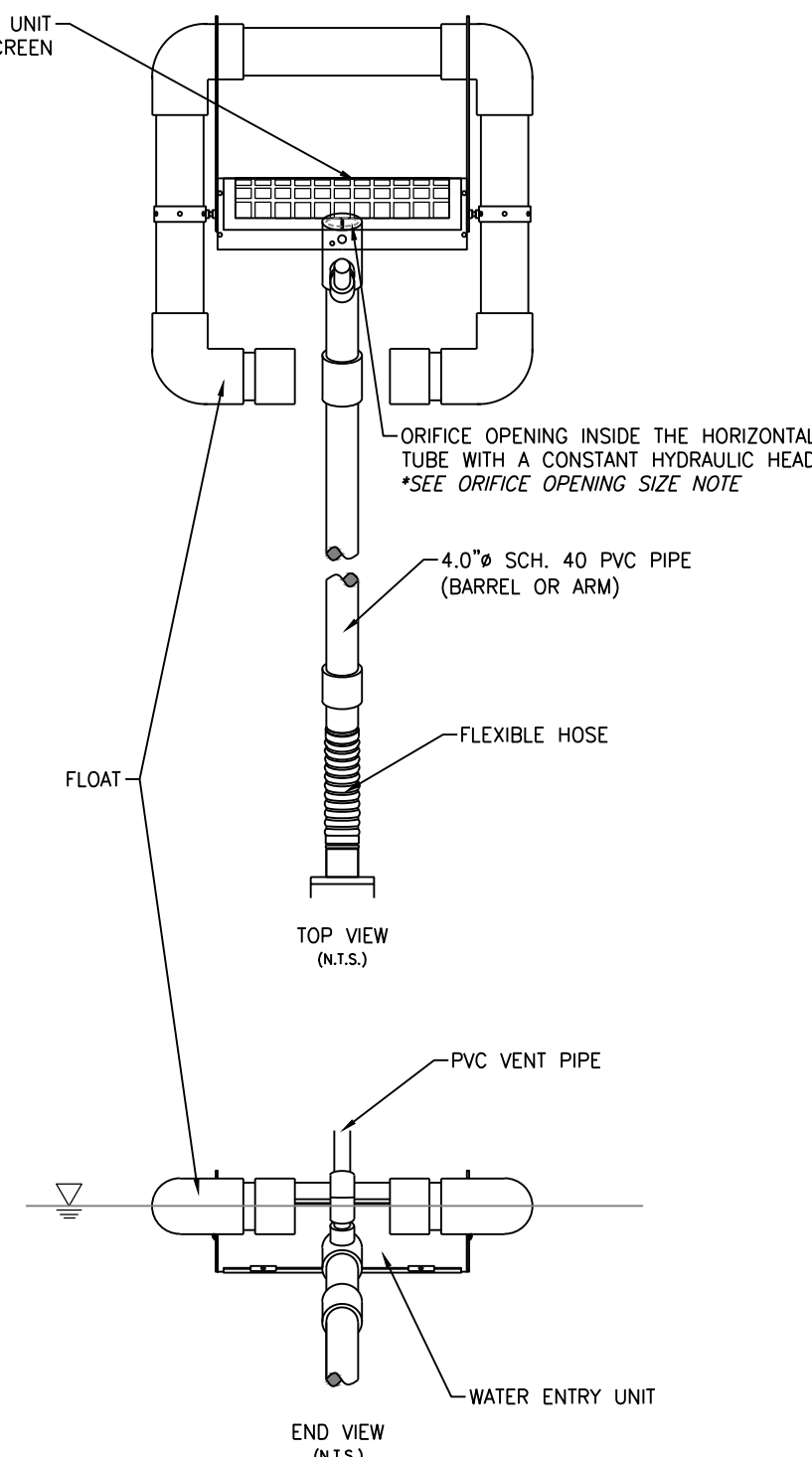
EROSION CONTROL PHASE 1: SEDIMENT BASIN - DESIGN DATA	
TOTAL OFFSITE & ONSITE DRAINAGE AREA (ACRES):	8.54 AC
DISTURBED AREA COLLECTED BY SEDIMENT BASIN:	6.23 AC
TOTAL REQUIRED SEDIMENT BASIN VOLUME:	30,744 CF
TOTAL SEDIMENT BASIN VOLUME AT TOP OF RISER:	44,816 CF
TOTAL SEDIMENT BASIN VOLUME AT TOP OF BASIN:	89,215 CF
DESIGN STORM EVENT DEPTH (INCHES):	5.92 IN
PEAK FLOW FOR THE DESIGN STORM EVENT (10-YR):	41.10 CFS
PEAK DISCHARGE OF BASIN FOR THE 10-YR STORM EVENT:	17.08 CFS
10-YEAR, 24-HOUR STORM ELEVATION:	289.29 FT
BOTTOM OF BASIN ELEVATION:	281.00 FT
EMERGENCY SPILLWAY ELEVATION:	289.00 FT
POND SURFACE AREA AT EMERGENCY SPILLWAY ELEVATION:	18,211 SF
OUTFALL PIPE DISCHARGE ELEVATION:	285.50 FT
ELEVATION OF THE RECEIVING MEDIUM DOWNSTREAM OF THE OUTFALL:	285.14 FT
DESIGN STORM ABOVE WHICH THE BASIN WILL DISCHARGE VIA THE EMERGENCY SPILLWAY:	50-YR
EMERGENCY SPILLWAY SIDESLOPE:	4:1
EMERGENCY SPILLWAY WIDTH:	10 FT
TOP OF EMBANKMENT ELEVATION:	290.00 FT
SHORTEST DISTANCE (FLOW PATH) FROM ALL INLET(S) TO THE DEWATERING DEVICE (FT):	208 FT
FLOW PATH L/W RATIO:	2.20

EROSION CONTROL PHASE 2: SEDIMENT BASIN - DESIGN DATA	
TOTAL OFFSITE & ONSITE DRAINAGE AREA (ACRES):	8.17 AC
DISTURBED AREA COLLECTED BY SEDIMENT BASIN:	6.23 AC
TOTAL REQUIRED SEDIMENT BASIN VOLUME:	29,412 CF
TOTAL SEDIMENT BASIN VOLUME AT TOP OF RISER:	44,816 CF
TOTAL SEDIMENT BASIN VOLUME AT TOP OF BASIN:	89,215 CF
DESIGN STORM EVENT DEPTH (INCHES):	5.92 IN
PEAK FLOW FOR THE DESIGN STORM EVENT (10-YR):	38.08 CFS
PEAK DISCHARGE OF BASIN FOR THE 10-YR STORM EVENT:	14.57 CFS
10-YEAR, 24-HOUR STORM ELEVATION:	289.21 FT
BOTTOM OF BASIN ELEVATION:	281.00 FT
EMERGENCY SPILLWAY ELEVATION:	289.00 FT
POND SURFACE AREA AT EMERGENCY SPILLWAY ELEVATION:	18,211 SF
OUTFALL PIPE DISCHARGE ELEVATION:	285.50 FT
ELEVATION OF THE RECEIVING MEDIUM DOWNSTREAM OF THE OUTFALL:	285.14 FT
DESIGN STORM ABOVE WHICH THE BASIN WILL DISCHARGE VIA THE EMERGENCY SPILLWAY:	50-YR
EMERGENCY SPILLWAY SIDESLOPE:	4:1
EMERGENCY SPILLWAY WIDTH:	10 FT
TOP OF EMBANKMENT ELEVATION:	290.00 FT
SHORTEST DISTANCE (FLOW PATH) FROM ALL INLET(S) TO THE DEWATERING DEVICE (FT):	208 FT
FLOW PATH L/W RATIO:	2.20

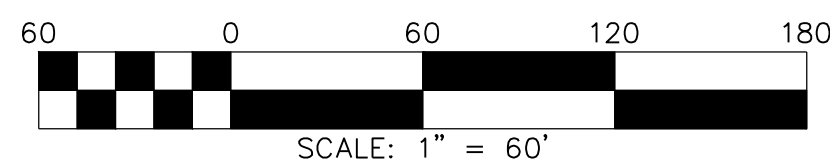


FAIRCLOTH SKIMMER DEWATERING TIME - SEDIMENT BASIN - PHASE 1	
SEDIMENT BASIN VOLUME AT TOP OF RISER:	44,816 CF
FAIRCLOTH SKIMMER DIAMETER:	4.0 IN
FAIRCLOTH SKIMMER ORIFICE SIZE:	NO RESTRICTION
FAIRCLOTH SKIMMER FLOW RATE:	16,863 CF/D
TOTAL DEWATERING TIME:	2.66 D

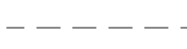
FAIRCLOTH SKIMMER DEWATERING TIME - SEDIMENT BASIN - PHASE 2	
SEDIMENT BASIN VOLUME AT TOP OF RISER:	44,816 CF
FAIRCLOTH SKIMMER DIAMETER:	4.0 IN
FAIRCLOTH SKIMMER ORIFICE SIZE:	NO RESTRICTION
FAIRCLOTH SKIMMER FLOW RATE:	16,863 CF/D
TOTAL DEWATERING TIME:	2.66 D



<table border="1"> <tr> <th>REVISION</th> <th>DESCRIPTION OF CHANGE</th> <th>APPROVAL DATE</th> </tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> </table>			REVISION	DESCRIPTION OF CHANGE	APPROVAL DATE																			DIVISION OF ENGINEERING EROSION CONTROL DETAILS -- TEMPORARY SEDIMENT BASIN LAFAYETTE COUNTY, MS		
REVISION	DESCRIPTION OF CHANGE	APPROVAL DATE																								
SURVEY: WILLIAMS ENG. DESIGN BY: J. GRANBERRY, P.E. DRAWN BY: J. GRANBERRY, P.E. DATE: 9/20/2022 DATE: 7/15/2026 DATE: 7/15/2026 PROJECT NO.: 1000-162 BOOK: SCALE: N.T.S.			FLEX SPACE SITE PLAN OWNER: HIGHWAY 328, LLC ENGINEER: GRANBERRY & ASSOCIATES, LLC																							



LEGEND

	PROPERTY BOUNDARY LINE
	ADJACENT PROPERTY LINE
	EXISTING CENTERLINE
	EXISTING BUILDING
	PROPOSED BUILDING
	EXISTING PAVEMENT/CURB/GUTTER
	EXISTING EDGE OF PAVEMENT
	EXISTING GRAVEL
	EXISTING FENCE
	PROPOSED FENCE
	LANDSCAPING AND/OR BUFFER YARD AREA

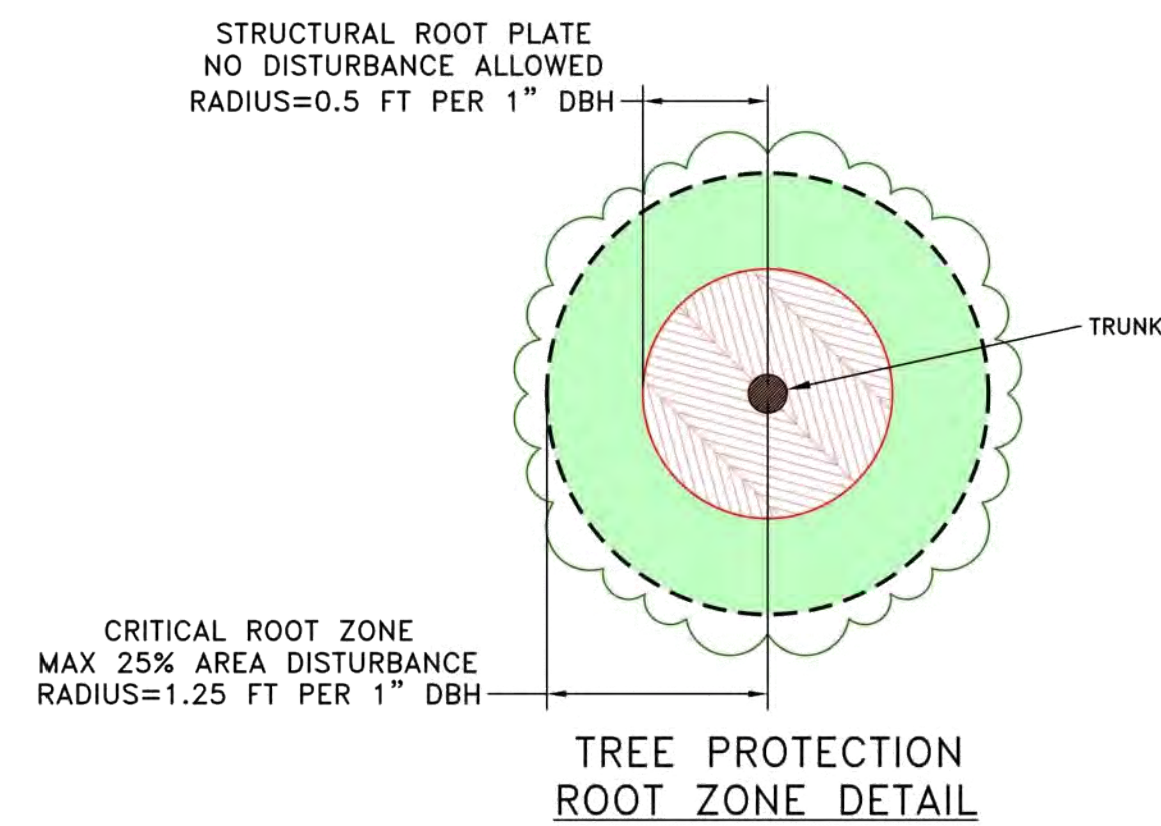
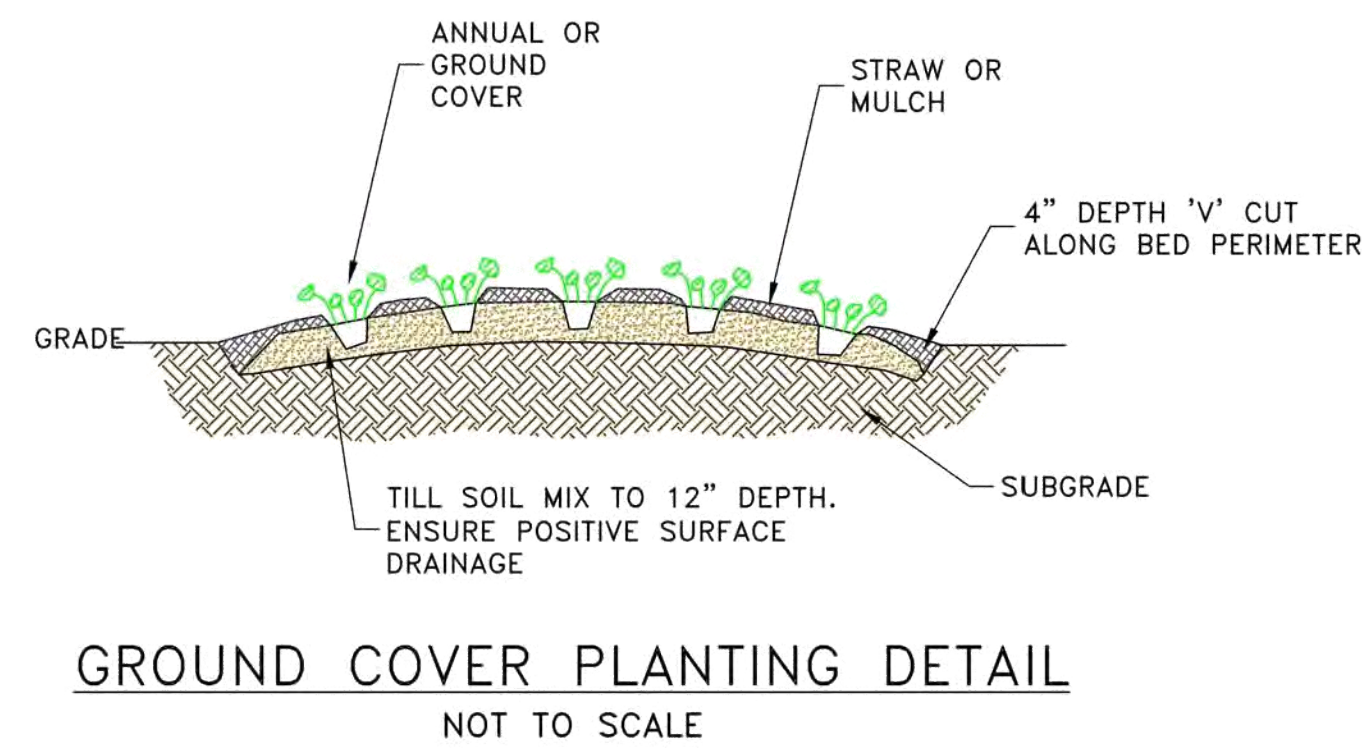
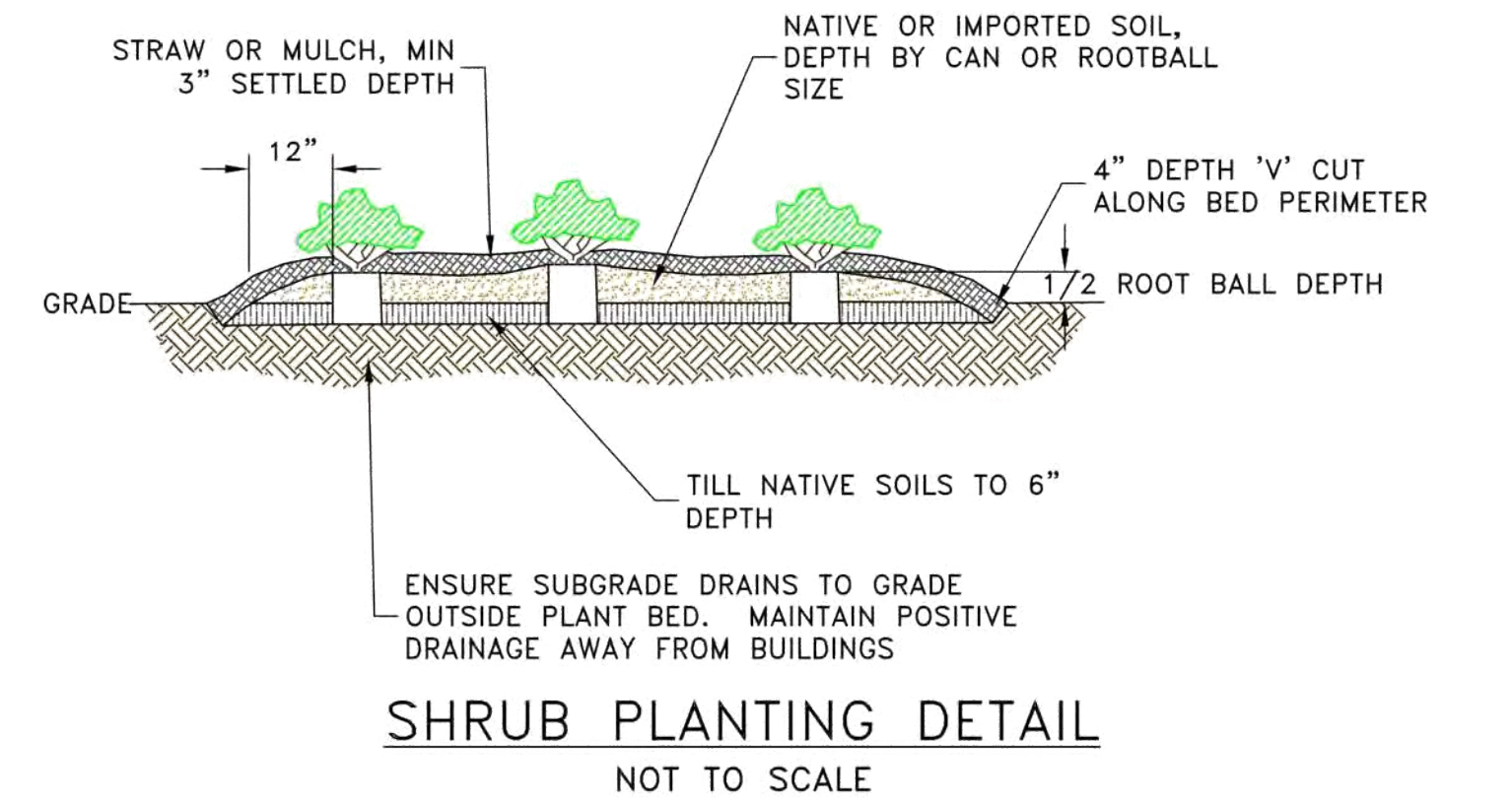
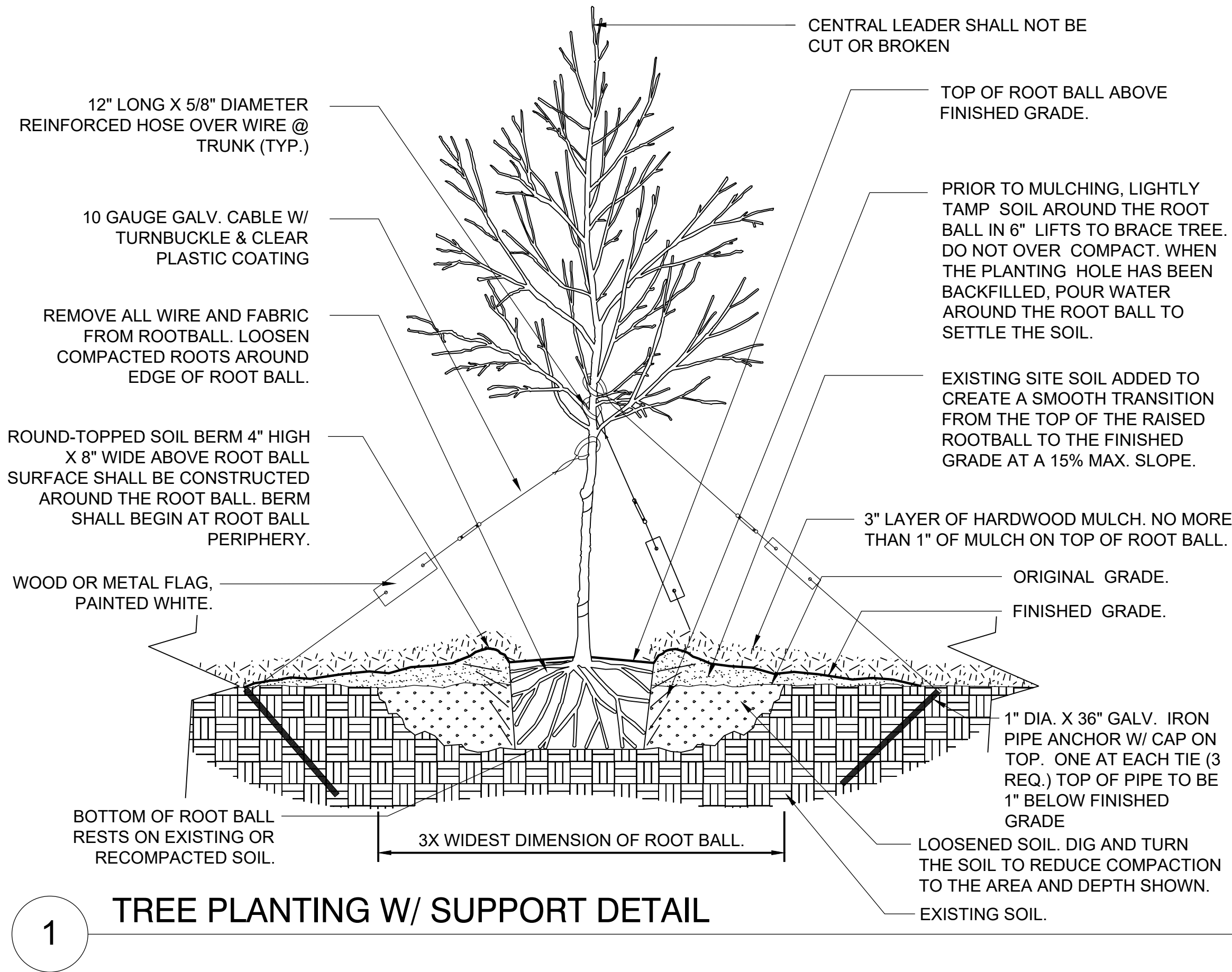
FEMA NOTE:
THIS PROPERTY IS LOCATED IN ZONE "A", WHICH IS DESIGNATED AS A SPECIAL FLOOD HAZARD AREA INUNDATED BY 100-YR FLOOD, WITHOUT BASE FLOOD ELEVATIONS DETERMINED PER FLOOD INSURANCE RATE MAP, MAP NO. 28071C0270C, EFFECTIVE DATE: NOVEMBER 26, 2010.

BENCHMARK:
BENCHMARK (B.M.): NAIL SET AT THE EDGE OF PAVEMENT HAVING A KNOWN ELEVATION OF 294.69 AND BEING LOCATED SOUTH 82.26 FEET AND WEST 242.90 FEET OF THE POB.

SURVEY: WILLIAMS ENG.	DATE: 9/20/2022	PROJECT NO.: 1000-162
DESIGN BY: J. GRANBERRY, P.E.	DATE: 7/15/2026	BOOK:
DRAWN BY: J. GRANBERRY, P.E.	DATE: 7/15/2026	SCALE: 1" = 60'

FLEX SPACE SITE PLAN –
LOT #1 OF YOCONA RISE SUBDIVISION
OWNER: HIGHWAY 328, LLC
ENGINEER: GRANBERRY & ASSOCIATES, LLC

C:\Users\jgranberry\OneDrive\Documents\Projects\2026\1000-162\1000-162_LANDSCAPE_DETAILS.dwg



REVISION		
ITEM NO.	DESCRIPTION OF CHANGE	APPROVAL DATE



DIVISION OF ENGINEERING
LANDSCAPE DETAILS
LAFAYETTE COUNTY, MS

SURVEY: WILLIAMS ENG. DATE: 9/20/2022 PROJECT NO.: 1000-162
DESIGN BY: J. GRANBERRY, P.E. DATE: 7/15/2026 BOOK:
DRAWN BY: J. GRANBERRY, P.E. DATE: 7/15/2026 SCALE: N.T.S.

FLEX SPACE SITE PLAN -
LOT #1 OF YOCONA RISE SUBDIVISION
OWNER: HIGHWAY 328, LLC
ENGINEER: GRANBERRY & ASSOCIATES, LLC